

COUNTY COMMISSIONERS OF CHARLES COUNTY, MARYLAND

2021 Legislative Session

Bill 2021-02

Zoning Text Amendment #19-154 Single Family Attached Residential and Multi-Family

Introduced by Charles County Commissioners

**REVISIONS TO THE ZONING ORDINANCE OF CHARLES COUNTY, MARYLAND THAT
CODIFY EXTERIOR ARCHITECTURAL DWELLING AND SITE DESIGN REQUIREMENTS
FOR SINGLE-FAMILY-ATTACHED RESIDENTIAL AND MULTI-FAMILY DEVELOPMENT
IN CHARLES COUNTY; TO ENSURE WELL PLANNED AND WELL MAINTAINED
COMMUNITITES**

Date introduced: 05 / 18 / 2021

Public Hearing: 06 / 08 / 2021 @ 6:00 p.m. Virtually

Commissioners Action: 09 / 21 / 2021 _____

Commissioner Votes: RBC: Y, BR: Y, GB: Y, TC: Y, AS: Y

Pass/Fail: Pass

Effective Date: 11 / 05 / 2021

Remarks: _____

NOTE: CAPITALS indicate matter added to existing text.
[Brackets] indicate matter deleted from existing law.

2021 Legislative Session

Bill No. 2021-02

Chapter No. 297

Introduced by Charles County Commissioners

Date of Introduction 6/8/2021

SINGLE-FAMILY ATTACHED RESIDENTIAL & MULTI-FAMILY

AN ACT concerning:

Single-family attached residential dwellings:

Use 3.02.100 Single-family attached residential: duplex

Use 3.02.200 Single-family attached residential: townhouse

Use 3.02.300 Single-family attached residential: multi-plex

Use 3.03.000 Multi-family

FOR the purpose of:

Codifying exterior architectural detailing and site design requirements for single-family-attached residential and multi-family development in Charles County; to ensure well-planned and well-maintained communities.

BY Amending:

Chapter 297- Zoning Ordinance

Article II, § 26 – General yard requirements.

Code of Charles County, Maryland

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

Chapter 297 – Zoning Ordinance

Article II, § 27 – Exceptions and modifications to minimum height requirements.

Code of Charles County, Maryland

Chapter 297 – Zoning Ordinance

Article II, § 28 – Visibility at intersecting roads.

Code of Charles County, Maryland

Chapter 297 – Zoning Ordinance

Article II, § 29 – Accessory uses and structures.

Code of Charles County, Maryland

Chapter 297- Zoning Ordinance

Article III, § 49 – Word usage; definitions.

Code of Charles County, Maryland

Chapter 297-Zoning Ordinance

Article V, § 75, Figure V-1 – Maximum Residential Densities (Dwelling Units Per Acre)

Code of Charles County, Maryland

Chapter 297- Zoning Ordinance

Article VI, § 90, Figure VI-4 –Schedule of Zone Regulations:

Development District Residential Zones

Code of Charles County, Maryland

Chapter 297-Zoning Ordinance

Article VI, § 95, Figure VI-7 – Schedule of Zone Regulations:

Town Center Core Mixed Use Zones

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 *Code of Charles County, Maryland*

2
3 Chapter 297 – Zoning Ordinance

4 Article VI, § 97, Figure VI-9 – Schedule of Zoning Regulations:

5 Activity Center Zones

6 *Code of Charles County, Maryland*

7
8 Chapter 297- Zoning Ordinance

9 Article VII § 106, Figure VII-2– Schedule of Zone Regulations:

10 Planned Residential Development (PRD) Zone

11 *Code of Charles County, Maryland*

12
13 Chapter 297-Zoning Ordinance

14 Article VII § 107, Figure VII-3 – Schedule of Zone Regulations:

15 Mixed Use (MX) Zone

16 *Code of Charles County, Maryland*

17
18 Chapter 297-Zoning Ordinance

19 Article VII § 111, Figure VII-5A – Schedule of Zone Regulations:

20 Transit-Oriented Development (TOD) Zone

21 *Code of Charles County, Maryland*

22
23 Chapter 297- Zoning Ordinance

24 Article XIII, § 212 – Uses corresponding with Table of Permissible Uses.

25 *Code of Charles County, Maryland*

26
27
28 Chapter 297 – Zoning Ordinance

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 Article XIV, 228, Figure XIV-2 – Schedule of Dimensional Requirements: Cluster
2 Developments, Charles County, Maryland

3 *Codes of Charles County, Maryland*

4
5 Chapter 297-Zoning Ordinance

6 Article XIV, § 228, Figure XIV-3 - Minimum Acceptable Facilities for Active
7 Recreation - Suburban Cluster Development on Public Water or Sewer

8 *Code of Charles County, Maryland*

9
10 Chapter 297-Zoning Ordinance

11 Article XVII, § 278, Definitions.

12 *Code of Charles County, Maryland*

13
14 Chapter 297 – Zoning Ordinance

15 Article XIX, § 325, Event Signs.

16 *Code of Charles County, Maryland*

17
18 Chapter 297 – Zoning Ordinance

19 Article XX, § 335, Number of parking spaces required.

20 *Code of Charles County, Maryland*

21
22 Chapter 297 – Zoning Ordinance

23 Article XX, § 297-336, Parking space dimensions.

24 *Code of Charles County, Maryland*

25
26 Chapter 297 – Zoning Ordinance

27 Article XX, § 338, General design requirements.

28 *Code of Charles County, Maryland*

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

Chapter 297 – Zoning Ordinance

Article XX, Figure XX-1 -Table of Off-Street Parking Requirements

Codes of Charles County, Maryland

Chapter 297 – Zoning Ordinance

Article XXI, § 358, Perimeter Landscaping.

Code of Charles County, Maryland

Chapter 297 – Zoning Ordinance

Appendix A, Zoning Regulations

Code of Charles County, Maryland

Chapter 297 – ZONING ORDINANCE

Appendix I, Zoning Regulations

Code of Charles County, Maryland

SECTION 1. BE IT ENACTED BY THE COUNTY COMMISSIONERS OF CHARLES COUNTY, MARYLAND, that the Laws of Charles County, Maryland read as follows:

Article II, § 297-26. General yard requirements.

A. Front Yard Depth. The minimum front yard depth, as specified in this chapter, shall be measured in the following manner:

(1) From the proposed or established public **OR PRIVATE** road right-of-way line, **OR COMMON ACCESS EASEMENT**.

[(2) From any private road or access driveway on a line 10 feet from and parallel to the edge of the traveled roadway or 10 feet from and parallel to a line established as a private road right-of-way, whichever is greater.]

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 (2) FROM ANY NON-GOVERNMENT MAINTAINED
2 ROADWAY OR ACCESS DRIVEWAY SERVING TWO OR
3 MORE LOTS OR DWELLING UNITS WITHOUT A
4 LEGALLY ESTABLISHED PRIVATE ROAD RIGHT-OF-
5 WAY OR COMMON ACCESS EASEMENT; ON A LINE FIVE
6 FEET FROM AND PARALLEL TO THE EDGE OF THE
7 TRAVELED ROADWAY.

8 *****

9 C. Exceptions and modifications to minimum yard requirements.

10 (1) Projections. The following structures shall be allowed to project into
11 the minimum required yard not to exceed the following dimensions:

12 (a) Awnings, canopies, cornices, eaves or other architectural
13 features; three feet.

14 (b) Bay windows, balconies, chimneys, porches or decks: three
15 feet **INTO A SIDE YARD AND FIVE FEET INTO THE**
16 **REAR YARD.** [or as specified in Article XIV, Cluster
17 Development, Figure XIV-2:

18 (c) Open fire escapes or patios (not enclosed): five feet.

19 (d) Uncovered stairs or necessary landings: six feet.

20 (E) **ON CLUSTER DEVELOPMENT SINGLE-FAMILY**
21 **DETACHED LOTS AND SINGLE-FAMILY**
22 **ATTACHED LOTS, THE FOLLOWING**
23 **STRUCTURES MAY PROJECT INTO THE**
24 **MINIMUM REAR YARD UP TO TEN FEET WHERE**
25 **THE REAR YARDS ARE ADJACENT TO RECORDED**
26 **BUFFER YARDS, STORMWATER MANAGEMENT**
27 **FEATURES, PASSIVE OPEN SPACE, THE**
28 **RESOURCE PROTECTION ZONE, OR FOREST**
29 **CONSERVATION EASEMENTS:**

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

(i) **ATTACHED BALCONIES, DECKS, NECESSARY
LANDINGS, OPEN FIRE ESCAPES, PATIOS (NOT
ENCLOSED), PORCHES, AND UNCOVERED
STAIRS.**

[(e)] **(F)** Fences and walls in accordance with this chapter.

[(f)] **(G)** Structures (including but not limited to awnings, canopies,
porches, etc.) in the WC and AUC Zones shall be allowed to
project into the minimum front setback area in accordance
with §297-97D(4).

[(g)] **(H)** Structures (including but not limited to awnings, canopies,
porches, etc.) in the [CRR and CER] **CER, CRR, AND
CMR** Zones shall be allowed to project into the minimum
front setback area in accordance with §297-95C(6).

Article II, §297-27. Exceptions and modifications to [minimum] **MAXIMUM** height
requirements.

A. General exceptions. The building height limitations of this chapter shall not
apply to the following:

- (1) Houses of worship, private schools, hospitals or high-rise apartment
dwellings, provided that the front, side and rear yards shall be
increased not less than one foot for each two feet by which said
structure exceeds the height limitation established for the zone in
which said structure is located.
- (2) [Fire or parapet walls, towers,] Towers, steeples, flagpoles, **AND**
radio and television antennas [and silos].
- {(3) Bulkheads, roof structures, including gable roof systems that do not
include approved living space, penthouses, silos, water tanks,
monitors and scenery lofts, ventilating fans or similar equipment
required to operate and maintain the building, provided that no

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 linear dimension of any such structure exceeds 50% of the
2 corresponding road lot line frontage; or towers and monuments, fire
3 towers, hose towers, cooling towers, grain elevators, gas holders or
4 other structures, where the manufacturing process requires a greater
5 height, provided that all such structures which exceed the heights
6 otherwise permitted in the zone shall not occupy more than 25% of
7 the area of the lot and shall be set back at least 50 feet from every
8 lot line which is not a road right-of-way line.]

9 **(3) ROOF STRUCTURES, INCLUDING GABLE ROOF**
10 **SYSTEMS WITH APPROVED LIVING SPACE, PARAPETS,**
11 **FIRE WALLS, BULKHEADS, WATER TANKS, SCENERY**
12 **LOFTS, SOLAR PANELS, VENTILATING FANS OR**
13 **SIMILAR EQUIPMENT REQUIRED TO OPERATE AND**
14 **MAINTAIN THE BUILDING, OR OTHER**
15 **ARCHITECTURAL FEATURES NOT LISTED HEREIN BUT**
16 **DEEMED TO BE SIMILAR IN NATURE AND SCALE TO**
17 **THOSE FEATURES LISTED HEREIN;**

18 **(4) TOWERS AND MONUMENTS, FIRE TOWERS, HOSE**
19 **TOWERS, COOLING TOWERS, SILOS, GRAIN**
20 **ELEVATORS, GAS HOLDERS, OR OTHER STRUCTURES**
21 **WHERE THE MANUFACTURING PROCESS REQUIRES A**
22 **GREATER HEIGHT, PROVIDED THAT ALL SUCH**
23 **STRUCTURES WHICH EXCEED THE HEIGHT**
24 **LIMITATIONS OTHERWISE PERMITTED IN THE ZONE**
25 **SHALL NOT OCCUPY MORE THAN 25% OF THE AREA OF**
26 **THE PARCEL OR LOT AND SHALL BE SET BACK AT**
27 **LEAST 50 FEET FROM EVERY LOT LINE.**

28 B. Fences and walls. Fences and walls may be located in required yards in
29 accordance with the following:

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

(1) Front yards. For single-family detached units, walls and fences shall not exceed four feet in height above ground elevation. Where fences and walls are an integral part of the unit design and are applied in a consistent and coordinated pattern throughout the project, fences and walls may be constructed to a maximum of six feet above ground elevation.

(2) Rear and side yards. Walls and fences shall not exceed eight feet in height above ground elevation. Tennis court fences shall not exceed 12 feet.

(3) Security fences for business, industrial or institutional uses shall not exceed 10 feet in height above the elevation of the surface of the ground unless otherwise necessary to comply with screening requirements.

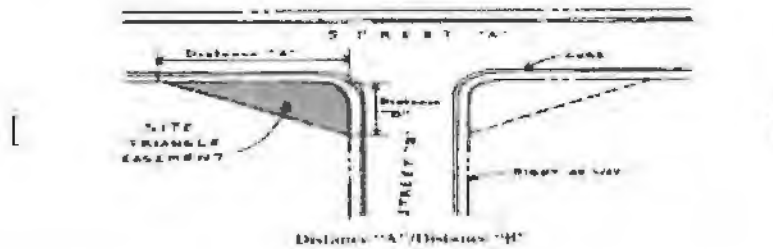
(4) FENCES NOT EXCEEDING SEVEN FEET IN HEIGHT ABOVE GROUND ELEVATION ARE NOT REQUIRED TO OBTAIN A BUILDING PERMIT. FENCES OVER SEVEN FEET IN HEIGHT ABOVE GROUND ELEVATION ARE REQUIRED TO OBTAIN A BUILDING PERMIT PERTAINING TO THE INSTALLATION OF THE SUPPORT FOOTINGS.

Article II, § 297-28. Visibility at intersecting roads.

[Sight triangles shall be required and shall include the area on each street or road corner that is bounded by the line which connects the sight or "connecting" points located on each of the right-of-way lines of the intersecting street. The location of structures exceeding 30 inches in height that would obstruct the clear sight across the area of the sight triangle shall be prohibited, and a public right-of-entry shall be reserved for the purpose of removing any object or material that obstructs the clear sight. The distances shown in Figure II-I between the connecting points and the intersection of the right-of-way lines shall be required as sight triangles.] **SIGHT DISTANCE AT INTERSECTING ROADS IS REGULATED WITHIN THE CHARLES COUNTY ROAD ORDINANCE.**

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

Figure II-1
Sight Triangle Easements



["A" Street Type]	["B" Street Type]		
	[Local]	[Collector]	[Arterial]
[Local]	[30/30]	[30/100]	[30/120]
[Collector]	[100/30]	[100/100]	[100/120]
[Arterial]	[120/30]	[120/100]	[120/120]

Article II, § 297-29. Accessory uses and structures.

B. The following accessory uses shall be permitted, and the following restrictions shall apply in agricultural and residential zones upon issuance of a zoning permit in accordance with the following:

(5) No agricultural or residential accessory use or structure shall be established within six feet of [r]F any side or rear lot line, **EXCEPT IN THE FOLLOWING SITUATIONS:**

(I) WHEN LOCATED ON A SINGLE-FAMILY ATTACHED OR MULTI-FAMILY USE LOT THAT IS ENCLOSED WITH A SOLID FENCE, IN ACCORDANCE WITH §297-27 B. OF THIS CHAPTER, AN ACCESSORY USE OR STRUCTURE IS PERMITTED TO ABUT ANY SIDE OR REAR LOT LINE. STRUCTURES OVER 200 SQUARE FEET IN SIZE ARE SUBJECT TO APPLICABLE INTERNATIONAL RESIDENTIAL CODE (IRC) REQUIREMENTS.

(II) WHEN A REAR LOADED DETACHED GARAGE IS ACCESSED VIA A PRIVATE ROADWAY, THE REAR LOADED

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

DETACHED GARAGE IS PERMITTED TO ABUT THE REAR LOT LINE; SUBJECT TO APPLICABLE INTERNATIONAL RESIDENTIAL CODE (IRC) REQUIREMENTS.

[Business, industrial and institutional accessory structures shall be subject to the same front, side and rear yards as required for the principal structure.]

(7) An **AGRICULTURAL OR SINGLE-FAMILY DETACHED** accessory structure which does not abut the principal building shall be located [at least] A **MINIMUM OF** six feet from any other building on the same lot. **WHEN LOCATED ON A SINGLE-FAMILY ATTACHED OR MULTI-FAMILY USE LOT, AN ACCESSORY STRUCTURE THAT DOES NOT ABUT THE PRINCIPAL BUILDING SHALL BE LOCATED A MINIMUM OF TWO FEET FROM ANY OTHER BUILDING ON THE SAME LOT, SUBJECT TO APPLICABLE INTERNATIONAL RESIDENTIAL CODE (IRC) REQUIREMENTS.**

Article III, § 297-49. Word usage; definitions.

E. Definitions.

ACCENTUATE (ACCENTUATED) – TO MAKE MORE NOTICEABLE OR PROMINENT; TO ADD VISUAL CHARACTER, DETAIL AND EMPHASIS. IN THE CONTEXT OF ARCHITECTURAL FEATURES, EXAMPLES INCLUDE BUT ARE NOT LIMITED TO HEADPIECES, SHUTTERS, PICTURE FRAME TRIM, PILASTERS, PEDIMENTS, AND CROSSHEADS, OR EQUIVALENT TREATMENTS.

ARCHITECTURAL FEATURES – THE UNIQUE DETAILS AND COMPONENT PARTS THAT, TOGETHER, FORM THE ARCHITECTURAL STYLE OF BUILDINGS, HOUSES, AND OTHER STRUCTURES. THESE FEATURES INCLUDE BUT ARE NOT LIMITED TO ACCENTUATED WINDOWS AND DOORWAYS, BALCONIES, BAY WINDOWS, CHIMNEYS, LOUVERS AND GABLE VENTS. BRICK

Asterisks *** mean intervening code language remaining unchanged

NOTE: CAPITALS indicate language added to existing law.

[Brackets] indicate language deleted from existing law.

1 HERRINGBONE PATTERNS OR FAUX CLOSED EXTERIOR SHUTTERS
2 ARE PERMITTED, IN LIEU OF FUNCTIONAL WINDOWS, SO LONG AS
3 THEY ARE INTEGRATED INTO THE VENEER OF THE FAÇADE.

4 *****

5 ARTICULATION (ARTICULATED) – A METHOD OF ACCENTUATING
6 BUILDING FAÇADES VIA THE INCORPORATION OF
7 ARCHITECTURAL FEATURES. ARTICULATION ACCENTUATES THE
8 VISIBLE ASPECT OF THE DIFFERENT PARTS OF A BUILDING. THE
9 ARTICULATION OF A BUILDING REVEALS HOW THE PARTS FIT
10 INTO THE WHOLE BY EMPHASIZING EACH PART SEPARATELY.

11 *****

12 BUILDING, HEIGHT – AS DEFINED BY THE INTERNATIONAL
13 BUILDING CODE (IBC) EDITION ADOPTED BY CHARLES COUNTY.

14 *****

15 BUILDING RESTRICTION (OR BUILDING SETBACK) LINE – SEE
16 “SETBACK”.

17 *****

18 COMMUNITY DOG PARK – A PARCEL OF LAND OWNED BY A
19 COMMUNITY HOMEOWNERS OR CONDOMINIUM ASSOCIATION
20 FOR DOGS TO EXERCISE AND PLAY OFF-LEASH, IN A CONTROLLED
21 ENVIRONMENT, UNDER THE SUPERVISION OF THEIR OWNERS.
22 THIS USE IS TO BE SETBACK AT LEAST TWENTY-FIVE (25) FEET AND
23 SCREENED VIA A BUFFERYARD C FROM ADJACENT RESIDENTIAL
24 LOT LINES. MINIMUM AMENITIES SHALL INCLUDE RULES AND
25 REGULATIONS SIGNAGE, A FIVE (5) FOOT COATED CHAIN-LINK
26 FENCE (OR EQUIVALENT QUALITY) AROUND THE PERIMETER,
27 WITH DOUBLE GATED ENTRY, SEATING AREA, WASTE BAG
28 DISPENSER AND WASTE DISPOSAL RECEPTACLE. OPERATION OF
29 THE COMMUNITY DOG PARK SHALL BE REGULATED BY THE

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 **COMMUNITY ASSOCIATION.**

2 *****

3 **COMMUNITY GARDEN – A PARCEL OF LAND OWNED BY A**
4 **COMMUNITY HOMEOWNERS OR CONDOMINIUM ASSOCIATION**
5 **DESIGNATED FOR MEMBERS OF THE ASSOCIATION TO CULTIVATE**
6 **VEGETABLES, FRUITS AND FLOWERS. A POTABLE WATER SOURCE**
7 **WILL BE SUPPLIED VIA OUTDOOR SPIGOTS. OPERATION OF THE**
8 **COMMUNITY GARDEN SHALL BE REGULATED BY THE**
9 **COMMUNITY ASSOCIATION.**

10 *****

11 **FAÇADE – ANY OF THE EXTERIOR FACES OF A BUILDING.**

12 *****

13 **FIBER CEMENT SIDING – MANUFACTURED THIN SECTION**
14 **COMPOSITES OF HYDRAULIC CEMENTITIOUS MATRICES AND**
15 **DISCRETE NON-ASBESTOS FIBERS CONFORMING TO THE ASTM**
16 **C1186, TYPE A, GRADE II STANDARD.**

17 *****

18 **HEIGHT, BUILDING – SEE “BUILDING, HEIGHT”.**

19 *****

20 **HIGH VISIBILITY, LOT – SEE “LOT, HIGH VISIBILITY”.**

21 *****

22 **LOT, HIGH VISIBILITY – A LOT WHERE ONE OR MORE OF THE**
23 **EXTERIOR FACADE WALLS (END/REAR) ARE PROMINENT (SUCH AS**
24 **CORNER LOTS AND LOTS VISIBLE FROM PUBLIC AREAS, SUCH AS**
25 **RECREATION AREAS, STREETS AND PARKING LOTS, OR BECAUSE**
26 **OF TOPOGRAPHY OR ROAD CURVATURE).**

27 *****

28 **PARKING, VISITOR – PARKING AREAS WITHIN A RESIDENTIAL**
29 **COMMUNITY THAT ARE IN ADDITION TO REQUIRED PARKING**

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

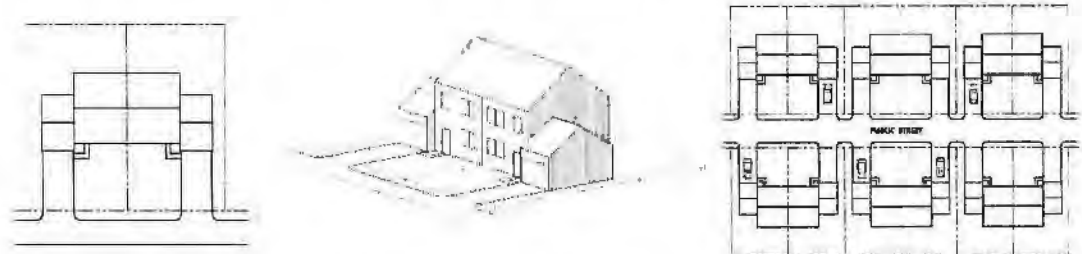
SPACES PER UNIT, WHICH ARE UTILIZED BY VISTORS TO, AND NOT RESIDENTS OF, THE NEIGHBORHOOD.

PATIO – A UNCOVERED AREA THAT IS PAVED WITH CONCRETE, BRICK, OR OTHER MASONRY MATERIAL AND DOES NOT POSSESS A PERMANENT ROOF STRUCTURE OR WALLS.

POLYMERIC SIDING – A SIDING MADE FROM POLYPROPYLENE RESIN AND USES AN INJECTION MOLDING PROCESS TO FORM A PRODUCT WITH HIGHLY DEFINED THREE-DIMENSIONAL PATTERNS IN A VARIETY OF STYLES, SIZES AND COLORS, FOR EXAMPLE SHAKE AND SHINGLE CLADDING WITH A CEDAR PATTERN.

PORCH- A COVERED AREA PROJECTING FROM AND STRUCTURALLY CONNECTED TO A BUILDING, WITH A SEPARATE ROOF, THAT IS NOT USED FOR LIVABLE SPACE.

Residence, Duplex – A two-family residential use in which the dwelling units share a common wall, including the wall of an attached garage or porch.

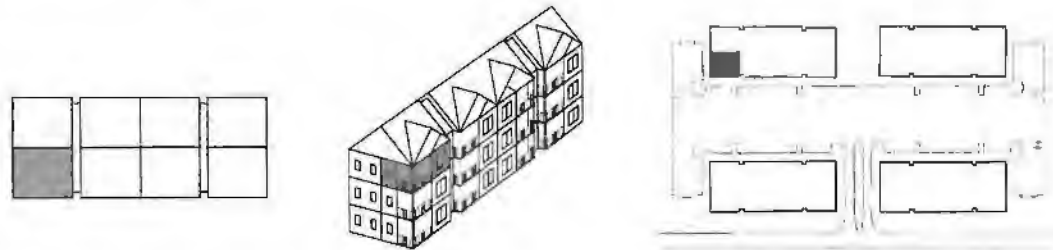
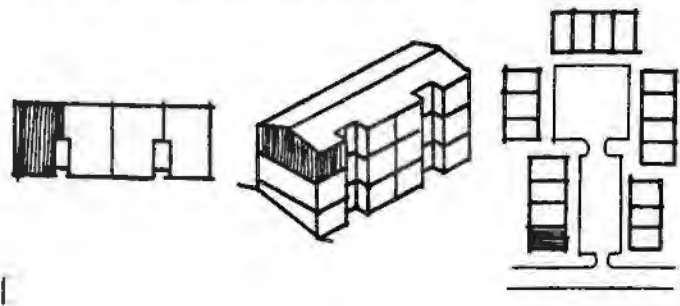


RESIDENCE, DUPLEX: PERSPECTIVE AND LAYOUT.

Residence, Garden Apartment – A building containing four or more dwelling units

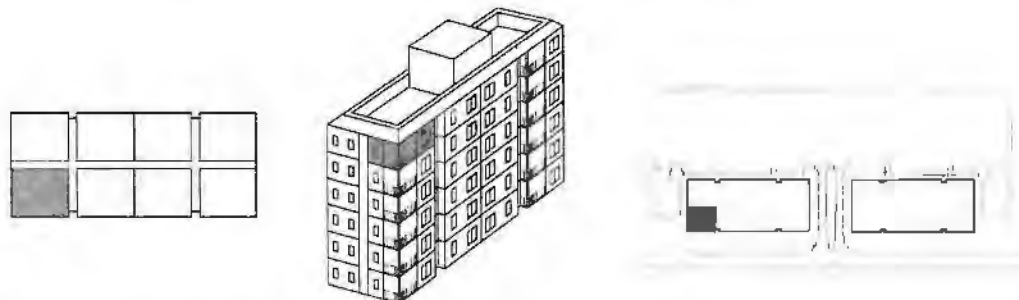
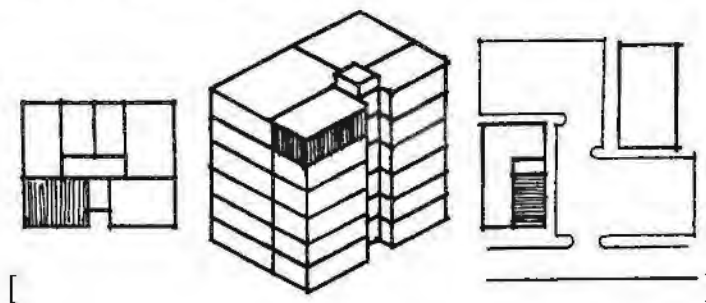
Asterisks *** mean intervening code language remaining unchanged
 NOTE: CAPITALS indicate language added to existing law.
 [Brackets] indicate language deleted from existing law.

off a common entry with no more than three stories.



RESIDENCE, GARDEN APARTMENT: PLAN, PERSPECTIVE AND LAYOUT.

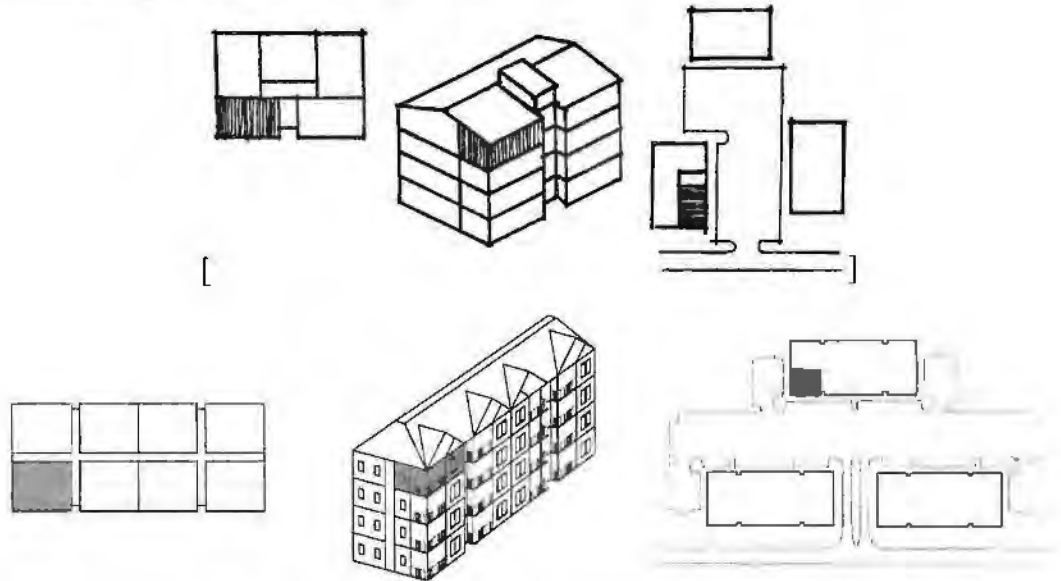
Residence, High-Rise - A building containing eight or more dwelling units with six or more stories and a common entry.



Asterisks *** mean intervening code language remaining unchanged
 NOTE: CAPITALS indicate language added to existing law.
 [Brackets] indicate language deleted from existing law.

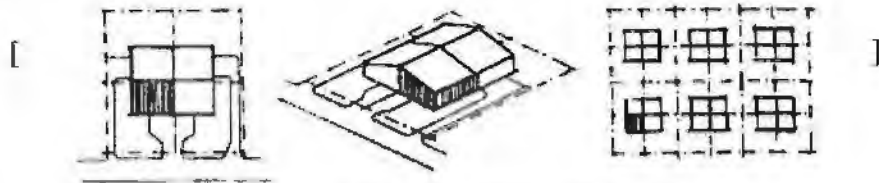
RESIDENCE, HIGH-RISE: PLAN, PERSPECTIVE AND LAYOUT.

Residence, Mid-Rise – A building containing eight or more dwelling units off a common entry with four or five stories.



RESIDENCE, MID-RISE: PLAN, PERSPECTIVE AND LAYOUT.

Residence, Multiplex – A building containing three or more attached dwellings units having common walls or roof and separate entry for each.



Residence, Multiplex: plan, perspective and layout.



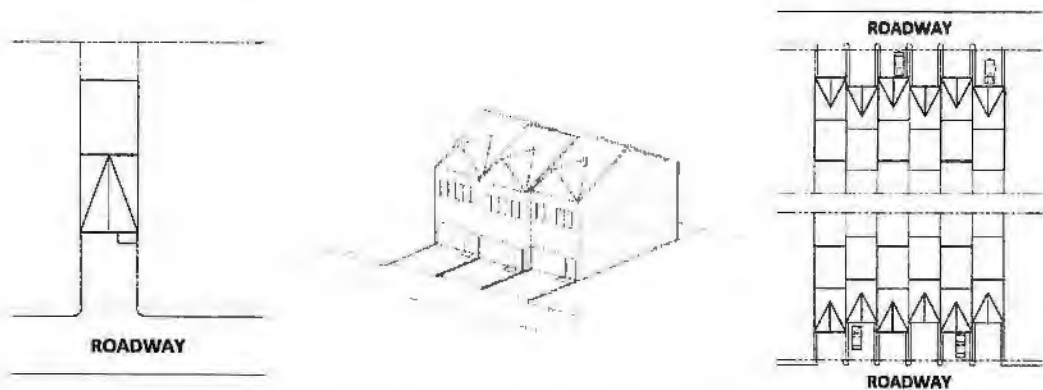
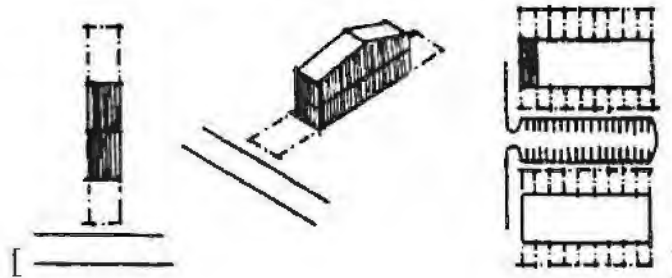
Asterisks *** mean intervening code language remaining unchanged

NOTE: CAPITALS indicate language added to existing law.

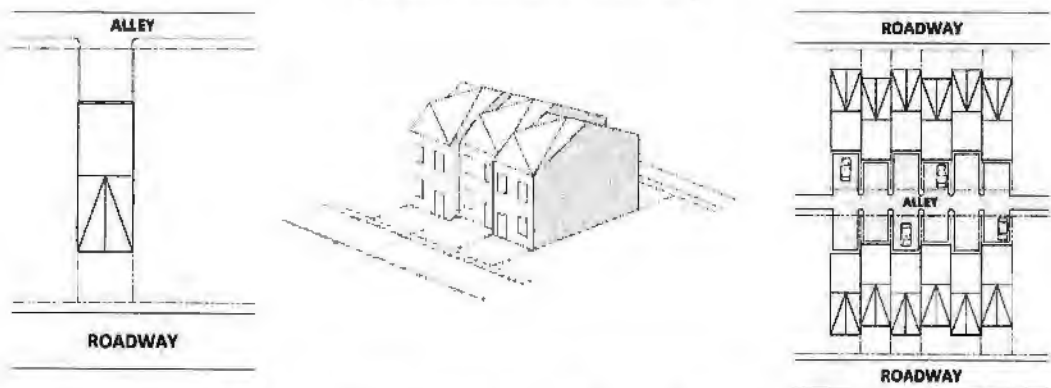
[Brackets] indicate language deleted from existing law.

RESIDENCE, MULTI-PLEX: PLAN, PERSPECTIVE AND LAYOUT.

Residence, Townhouse - A building containing three or more attached dwelling units in a row having access from the front **OR SIDE** and rear of the dwelling.



RESIDENCE, TOWNHOUSE: PLAN, PERSPECTIVE AND LAYOUT (FRONT LOAD GARAGE).



RESIDENCE, TOWNHOUSE: PLAN, PERSPECTIVE AND LAYOUT (REAR LOAD GARAGE).

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

SCREENING (SCREENED) – A METHOD OF VISUALLY SHIELDING OR OBSCURING ONE ABUTTING OR NEARBY USE OR STRUCTURE FROM ANOTHER. ACCEPTABLE METHODS INCLUDE FENCES, WALLS, EARTHEN BERMS, CHANGE OF GRADE, DENSE NATURAL VEGETATION OR TREES, OR DENSELY PLANTED VEGETATION OR LANDSCAPING.

Setback (BUILDING RESTRICTION LINE OR BUILDING SETBACK) - A line which is a required minimum distance from the road right-of-way and any lot line that establishes the area within which buildings or structures must be erected or placed.

STREETSCAPE – THE VISUAL ELEMENTS OF THE STREET INCLUDING THE ROADWAY, ADJACENT STRUCTURES, PEDESTRIAN AND BICYCLE FACILITIES, STREET FURNITURE, LANDSCAPING AND OPEN SPACE THAT COMBINE TO FORM THE STREET’S CHARACTER.

TOT-LOT – A DESIGNATED RECREATION AREA FOR YOUNG CHILDREN, WHICH POSSESSES IMAGINATIVE PLAY APPARATUS, SUCH AS ACTIVITY CENTERS, BALANCE BEAMS, CRAWL TUBES, CLIMBERS, MONKEY BARS, PLAYHOUSES, SANDBOXES, SLIDES, SWINGS, ETC., AND INCLUDES A SEATING AREA FOR ADULTS, IN A CLEARLY DEFINED SPACE. TOT LOTS ADDITIONALLY INCLUDE APPROPRIATE AGE RANGE AND WARNING SIGNAGE, AS WELL AS PERIMETER DEFINING FENCING WHEN THEY ARE LOCATED WITHIN FIFTY (50) FEET OF ANY PUBLIC OR PRIVATE ROAD OR

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 **STREET TRAVEL LANE.**

2 *****

3 **VISITOR, PARKING – SEE “PARKING, VISITOR”.**

4 *****

5 Article V, § 75, Figure V-1 – Maximum Residential Densities
6 (Dwelling Units Per Acre)

7 Incorporated herein as Attachment A.

8 *****

9 Article VI, § 90, Figure VI-4 –Schedule of Zone Regulations:
10 Development District Residential Zones

11 Incorporated herein as Attachment B.

12 *****

13 Article VI, §95, Figure VI-7 – Schedule of Zone Regulations:
14 Town Center Core Mixed Use Zones

15 Incorporated herein as Attachment C.

16 *****

17 Article VI, §97, Figure VI-9 – Schedule of Zoning Regulations:
18 Activity Center Zones

19 Incorporated herein as Attachment D.

20 *****

21 Article VII §106, Figure VII-2– Schedule of Zone Regulations:
22 Planned Residential Development (PRD) Zone

23 Incorporated herein as Attachment E.

24 *****

25 Article VII § 107, Figure VII-3 – Schedule of Zone Regulations:
26 Mixed Use (MX) Zone

27 Incorporated herein as Attachment F.

28 *****

29 Article VII § 111, Figure VII-5A – Schedule of Zone Regulations:

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 Transit-Oriented Development (TOD) Zone

2 Incorporated herein as Attachment G.

3 *****

4 Article XIII § 297-212. Uses corresponding with Table of Permissible Uses.

5 *****

6 3.02.100 Single-family attached residential: duplex.

7 *****

8 B. The conditions for this use are the same as specified below for 3.02.200
9 Single-family attached residential: townhouse [.] **WHERE**
10 **APPLICABLE.**

11 *****

12 3.02.200 Single-family attached residential: townhouse.

13 This use is permitted with conditions in the RM and RH Zones and in the PRD,
14 MX, TOD, CER, [CMR,] CRR, **CMR**, WC, and AUC Zones, subject to the
15 requirements below. Where this use is shown and approved on a master plan or
16 preliminary plan of subdivision, it is permitted in the PUD and WPC Zones, subject
17 to the [following] requirements **BELOW. WHERE THE TEXT OF THIS**
18 **SECTION MAY CONFLICT WITH THE SCHEDULE OF ZONE**
19 **REGULATIONS CONTAINED IN FIGURES VI-4, VI-7, VI-9, VII-2, VII-3,**
20 **OR VII-5A, THE TEXT OF THIS SECTION SHALL PREVAIL.**

21 A. **TRANSITIONAL PROVISIONS.**

22 **(1) APPLICATIONS FOR PRELIMINARY SUBDIVISION PLANS**
23 **THAT INCLUDE SINGLE-FAMILY ATTACHED DWELLING**
24 **UNITS, SUBMITTED AFTER NOVEMBER 5, 2021, SHALL BE**
25 **SUBJECT TO FULL COMPLIANCE WITH THE**
26 **REQUIREMENTS HEREIN.**

27 **(2) DEVELOPMENTS WITH PRELIMINARY SUBDIVISION**
28 **PLANS SUBMITTED AS OF NOVEMBER 5, 2021 MAY ELECT**
29 **TO UTILIZE THE REVISED BUILDING**

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 MATERIALS CRITERIA OF 3.02.200 F. (13) (A) AND (B), SUBJECT
2 TO APPROVAL DURING THE COUNTY ARCHITECTURAL
3 REVIEW PROCESS.

4 (3) DEVELOPMENTS WITH PRELIMINARY SUBDIVISION
5 PLANS SUBMITTED AS OF NOVEMBER 5, 2021 MAY PROCEED
6 TO COMPLETION (i) IN FULL COMPLIANCE WITH THE
7 ZONING ORDINANCE REQUIREMENTS FOR SINGLE-
8 FAMILY ATTACHED DWELLING UNITS IN EFFECT AT THE
9 TIME OF PRELIMINARY SUBDIVISION PLAN SUBMITTAL OR
10 (ii) IN FULL COMPLIANCE WITH THE REQUIREMENTS
11 HEREIN.

12 [A.]B. **PLANNED DEVELOPMENT ZONES.** This use is permitted in the PRD,
13 MX and TOD Zones subject to all applicable provisions of Article VII,
14 Planned Development Zones.

15 C. **MINIMUM TRACT SIZE. FOR THE PURPOSE OF SINGLE-**
16 **FAMILY ATTACHED RESIDENTIAL DEVELOPMENT, A**
17 **MINIMUM TRACT SIZE OF 10 ACRES IN THE RM ZONE AND 5**
18 **ACRES IN THE RH ZONE IS REQUIRED. THE MINIMUM**
19 **TRACT SIZE FOR OTHER ZONING DISTRICTS ARE**
20 **ESTABLISHED WITHIN THE BASE ZONE AND PLANNED**
21 **DEVELOPMENT ZONE PROVISIONS OF THIS CHAPTER.**

22 D. **SINGLE-FAMILY ATTACHED RESIDENTIAL DEVELOPMENT IN**
23 **THE RM AND RH ZONES IS SUBJECT TO THE SUPERIOR**
24 **DESIGN CRITERIA WITHIN APPENDIX I OF THIS CHAPTER.**

25 [B.]E. Landscaping. A landscaping plan and schedule of planting shall be included
26 with the **MAJOR [s]Site DEVELOPMENT [p]Plan** which satisfies the
27 following requirement: Areas not occupied by buildings, roads, parking
28 areas, service areas or other required or permitted uses, including open

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

spaces and usable recreation areas, shall be landscaped by lawn, trees, shrubs, gardens or other suitable ground cover. **LANDSCAPING PROPOSED TO BE LOCATED ON INDIVIDUAL LOTS WILL BE APPROVED DURING THE COUNTY ARCHITECTURAL REVIEW PROCESS.**

[C.]F. Building requirements and **STREETSCAPE** relationship. [w]Within the RM, RH, PUD, WPC, PRD, MX, TOD, CER, CMR, and CRR Zones[:]
THE FOLLOWING REQUIREMENTS APPLY:

(1) Dwelling units per structure. [There shall be no more than four units within a townhouse building or structure when averaged throughout the entire proposed development, but in no case more than six dwelling units shall be contained in a townhouse structure. Deviations from this standard may be approved by the County Commissioners as part of the Planned Development Zone approval or in the CRR and CER Zones upon the demonstration by the applicant that the design is superior in achieving the objectives and purposes of the zone.]

(A) **THERE SHALL BE NO MORE THAN FIVE DWELLING (5) UNITS WITHIN A TOWNHOUSE STRUCTURE WHEN AVERAGED THROUGHOUT A PROPOSED DEVELOPMENT PLAN, BUT IN NO CASE SHALL MORE THAN SEVEN (7) DWELLING UNITS BE PERMITTED IN A TOWNHOUSE STRUCTURE.**

(2) **MINIMUM WIDTH OF TOWNHOUSE DWELLING UNITS.**

(A) **IN THE PUD, TOD, PRD, CER, CRR, CMR, MX, AUC, WC, AND WPC ZONES WHERE NO INTEGRAL GARAGE IS PROVIDED, OR WHERE THE**

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 **INTEGRAL GARAGE IS IN THE REAR OF THE**
2 **UNIT, THE MINIMUM WIDTH OF A TOWNHOUSE**
3 **DWELLING UNIT SHALL BE AT LEAST SIXTEEN**
4 **(16) FEET.**

5 **(B) IN ALL OTHER ZONES, OR WHERE THE**
6 **INTEGRAL GARAGE IS IN THE FRONT OF THE**
7 **UNIT, THE MINIMUM WIDTH OF A TOWNHOUSE**
8 **DWELLING UNIT SHALL BE AT LEAST EIGHTEEN**
9 **(18) FEET.**

10 **(C) TOWNHOUSE STRUCTURES CONTAINING LOTS**
11 **OF IDENTICAL WIDTH ARE PROHIBITED. END**
12 **UNIT LOTS SHALL BE A MINIMUM OF FOUR FEET**
13 **WIDER THAN THE INTERIOR LOTS.**

14 **[(2)](3)Setbacks between buildings. The minimum distance between any**
15 two unattached dwelling structures is 25 feet. The **MINIMUM**
16 setback ~~[can]~~ **SHALL** be increased to 40 feet if the dwelling
17 structures are face-to-face. The point of measurement shall be the
18 exterior walls of the structures and does not include balconies or
19 other architectural features. ~~[A walkway]~~ **SIDEWALKS AND**
20 **WALKWAYS PROVIDING PEDESTRIAN CONNECTIVITY**
21 may be provided between buildings without meeting the setback. [if
22 approved by the County Commissioners as part of the Planned
23 Development Zone approval based upon the demonstration by the
24 applicant that the design is superior in achieving the objectives and
25 purposes of the zone.]

26 **(4) ENTRANCES. ALL PRIMARY FRONT OR SIDE**
27 **ENTRANCES TO A TOWNHOUSE DWELLING UNIT**
28 **SHALL POSSESS:**

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

- (A) **DISTINCTIVE ENTRY DOORS AND DOOR FRAME
DETAILING, SUCH AS SIDELIGHTS, TRANSOMS,
PILASTERS, PEDIMENTS, AND CROSSHEADS, OR
EQUIVALENT TREATMENTS.**
- (B) **A COMBINATION OF ENHANCED ENTRYWAY
TRANSITIONS AND TREATMENTS, SUCH AS
WALKWAY PAVERS, MASONRY STOOPS, STAIR
RAILINGS, COVERED PORTICOS, DECORATIVE
LIGHT FIXTURES, AND OTHER
COMPLEMENTARY HARDSCAPE ELEMENTS.**
- (C) **HOME ADDRESS NUMBERS, ASSIGNED BY 911
ADDRESSING, FACING THE CORRESPONDING
STREET NAME.**
- (5) **DECKS. DECK DESIGNS, MATERIAL CHOICES, AND
FINISHING TREATMENTS SHALL BE CONSISTENT
THROUGHOUT A GIVEN COMMUNITY AND
REGULATED BY THE COUNTY ARCHITECTURAL
REVIEW PROCESS. UNLESS OTHERWISE APPROVED,
ALL DECKS WILL POSSESS A PRIVACY PANEL FACING
THE ADJACENT DWELLING UNIT.**
- (6) **OFF-SETS. THE MINIMUM OFF-SET BETWEEN
DWELLING UNITS IN A TOWNHOUSE STRUCTURE IS
TWO FEET. MASONRY VENEER PROVIDED ON THE
FRONT FAÇADE SHALL BE WRAPPED TO MEET THE
COMMON WALL OF THE ADJACENT DWELLING UNIT
ON INTERIOR UNITS AND A MINIMUM OF TWO FEET ON
END UNITS.**
- (7) **SETBACKS. IN THE RM, RH, PRD, MX, TOD, CER, CMR,**

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 CRR, WC, AND AUC ZONES, FRONT AND REAR
2 SETBACKS FOR SINGLE-FAMILY ATTACHED
3 DWELLING UNITS ARE LISTED WITHIN THE
4 SCHEDULE OF ZONE REGULATIONS - FIGURES (VI-4,
5 VI-7, VI-9, VII-2, VII-3, AND VII-5A), WHICH ARE
6 SPECIFIC TO EACH INDIVIDUAL ZONE IN WHICH THIS
7 USE IS PERMITTED.

8 [(3)](8) Distance to service areas. No dwelling structure shall be closer than
9 [20 feet to any interior driveway or closer than] 15 feet to any [off-
10 street] parking area **THAT IS BOTH OFF-STREET AND OFF-**
11 **LOT** [, excluding garages built into an individual dwelling unit].

12 [(4)](9) Rear yard access. All dwelling units shall be situated so as to
13 provide [adequate] access to **THE** rear yards, **VIA**
14 **INTERCONNECTED SIDEWALKS, HARD SURFACE**
15 **WALKWAYS, AND/OR PRIVATE ROADWAY.** [except in the
16 CRR and CER Zones.]

17 [(5) The rears of townhouse buildings shall either be effectively
18 screened by other structures, landscaping, berms or fencing from
19 views from public spaces, such as recreational areas, streets and
20 parking lots, or the rears of townhouse buildings shall be designed
21 so that they have similar features to the fronts (such as reverse
22 gables, bay windows, shutters, trim, entry doors and other
23 architectural features) and shall be designed, along with the sides,
24 to appear as a whole object, such that the front, side and rear
25 facades are compatible with each other and contain common design
26 elements.

27 (6) Side and rear walls shall be articulated with doors, windows,
28 recesses, chimneys or other architectural treatments. All end walls
29 shall have a minimum of two architectural features, and lots where
30 end walls are prominent (such as corner lots and lots visible from
31 public spaces, streets or because of topography or road curvature)
32 shall have additional end wall features in a balanced composition.]

33 **(10) END WALLS. SHALL BE ARTICULATED WITH**
34 **ARCHITECTURAL FEATURES WHICH ARE SIMILAR**

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 TO THE DETAILS PROVIDED ON THE FRONT FAÇADE
2 AND SHALL BE DESIGNED SUCH THAT THE FRONT,
3 END, AND REAR FACADES ARE COMPATIBLE AND
4 CONTAIN COMMON DESIGN ELEMENTS IN A
5 BALANCED COMPOSITION. ALL END WALLS SHALL
6 HAVE A MINIMUM OF TWO ARCHITECTURAL
7 FEATURES PER STORY. HIGH VISIBILITY LOTS
8 WHERE THE END WALLS ARE PROMINENT SHALL BE
9 ARTICULATED WITH ARCHITECTURAL FEATURES
10 WHICH DUPLICATE THE DETAILS PROVIDED ON THE
11 FRONT FAÇADE.

12 (11) REAR WALLS. SHALL BE SCREENED FROM VIEWS
13 OF PUBLIC SPACES, SUCH AS RECREATION AREAS,
14 STREETS AND PARKING LOTS, OR ARTICULATED
15 WITH ARCHITECTURAL FEATURES WHICH ARE
16 SIMILAR TO THE DETAILS PROVIDED ON THE FRONT
17 FAÇADE AND SHALL BE DESIGNED SUCH THAT THE
18 FRONT, END AND REAR FACADES ARE COMPATIBLE
19 AND CONTAIN COMMON DESIGN ELEMENTS IN A
20 BALANCED COMPOSITION. HIGH VISIBILITY LOTS
21 WHERE REAR WALLS ARE PROMINENT SHALL BE
22 ARTICULATED WITH ARCHITECTURAL FEATURES
23 WHICH DUPLICATE THE DETAILS PROVIDED ON THE
24 FRONT FAÇADE.

25 [(7)] (12) Above-grade foundation walls. **THESE WALLS** shall be clad
26 with finish materials compatible with the primary façade
27 materials[,] **OR SHALL BE TEXTURED OR FORMED TO**
28 **SIMULATE A CLAD FINISHED MATERIAL SUCH AS**

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 **BRICK, DECORATIVE BLOCK, OR STUCCO.** [f]Finished
2 stucco and stamped concrete [may be] **IS** permitted and[,if
3 permitted,] shall be of a color compatible with the primary façade
4 colors. **EXPOSED FOUNDATION WALLS OF UNCLAD OR**
5 **UNFINISHED CONCRETE ARE PROHIBITED.**

6 **[(8)] (13) BUILDING MATERIALS.**

7 **(A) MATERIAL PERCENTAGE.** At least 60% of the exterior
8 of each townhouse building shall consist of brick [or],
9 stone[.], **OR FIBER CEMENT SIDING; AND NO**
10 **MORE THAN 40% OF THE EXTERIOR OF EACH**
11 **TOWNHOUSE BUILDING SHALL CONSIST OF**
12 **POLYMERIC OR VINYL SIDING, WITH NO MORE**
13 **THAN 30% BEING VINYL.**

14 **(i) THESE COVERAGE PERCENTAGES**
15 **EXCLUDE THE SURFACE AREA OF THE**
16 **EXTERIOR WINDOWS AND DOORWAYS.**

17 **(ii) VINYL SIDING IS REQUIRED TO BE A**
18 **MINIMUM MILL THICKNESS OF 0.44 OR**
19 **HIGHER.**

20 **(iii) THE FRONT AND SIDE ELEVATION OF**
21 **END UNITS THAT PRIMARILY UTILIZE**
22 **FIBER CEMENT, POLYMERIC OR VINYL**
23 **SIDING, OR ARE DESIGNATED AS HIGH**
24 **VISIBILITY LOTS, SHALL BE PROVIDED**
25 **WITH A MASONRY WATERTABLE (AT**
26 **LEAST UP TO THE SILL HEIGHT OF THE**
27 **FIRST FLOOR WINDOWS) THAT CONSISTS**
28 **OF BRICK OR STONE.**

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 (B) COLOR SCHEMES AND MATERIAL SELECTIONS.
2 ALL DWELLING UNITS IN A SINGLE-FAMILY
3 ATTACHED BUILDING SHALL BE DESIGNED FOR
4 DISTINCTIVENESS AND TO MINIMIZE COLOR
5 AND MATERIAL REPETITION SUCH THAT NO
6 ADJACENT UNITS ARE IDENTICAL IN THEIR
7 APPLICATION. APPROVAL OF THE COLOR
8 SCHEMES AND MATERIAL SELECTIONS WILL
9 OCCUR DURING THE COUNTY ARCHITECTURAL
10 REVIEW PROCESS.

11 (C) MOUNT VERNON VIEWSHED. IF SPECIFIC LOTS
12 IN A SUBDIVISION ARE IDENTIFIED AS BEING
13 LOCATED IN THE AREA OF PRIMARY CONCERN
14 FOR THE MOUNT VERNON VIEWSHED, THE
15 MOUNT VERNON VIEWSHED DESIGN
16 GUIDELINES SHALL APPLY IN DETERMINING
17 THE APPROPRIATE COLOR SCHEMES.

18 (14) ROOFLINES.

19 (A) ROOF DESIGN SHALL CONSIDER ALL EDGES OF
20 THE ROOF, INCLUDING EAVES AND GABLES. AN
21 OVERHANG ON ROOF EAVES AND GABLE ENDS
22 OF TWELVE (12) INCHES, WITH FASCIA BOARD,
23 MUST BE PROVIDED UNLESS OTHERWISE
24 APPROVED DURING THE COUNTY
25 ARCHITECTURAL REVIEW PROCESS.

26 (B) FRONT ELEVATION ROOFLINES SHALL INCLUDE
27 ARCHITECTURAL FEATURES SUCH AS DORMERS
28 OR GABLES ON 50% OR MORE OF UNITS WITHIN

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 A SINGLE-FAMILY ATTACHED BUILDING OR
2 STRUCTURE. FRACTIONS SHALL BE ROUNDED
3 UP TO THE NEXT WHOLE NUMBER.

4 (C) FRONT ELEVATION ROOFLINES SUPPLIED WITH
5 NON-FUNCTIONAL DORMERS SHALL BE
6 PROVIDED WITH OPAQUE WINDOW FILM,
7 SPANDREL GLASS WINDOWS, OR EQUIVALENT
8 ALTERNATIVE, TO CONCEAL VISIBILITY OF THE
9 INTERIOR ROOF FRAMING.

10 (D) ROOFTOP DECKS FOR OUTDOOR
11 ENTERTAINMENT ARE PERMITTED SUBJECT TO
12 DEMONSTRATION OF COMPLIANCE WITH
13 APPLICABLE INTERNATIONAL BUILDING CODE
14 (IBC) OR INTERNATIONAL RESIDENTIAL CODE
15 (IRC) REGULATIONS AND SHALL BE
16 ARCHITECTURALLY INTEGRATED INTO THE
17 ROOFLINE VIA DECORATIVE FENCING AND/OR
18 PARAPET WALL.

19 [(9)] (15) **SQUARE FOOTAGE.** The minimum square footage of finished
20 livable space, not to include the square footage enclosed by garages,
21 porches, decks, unfinished basement or attic areas, will not be less
22 than 1,250 square feet; subject to the following:

23 (a) [25%] **50%** of the units may be a minimum of 1,250
24 square feet.

25 [(b) 25% of the units may be a minimum of 1,450 square
26 feet.]

27 [(c)] **(B)** Remaining units must be a minimum of 1,650
28 square feet.

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 [(d)] (C) Dwelling units less than 1,650 square feet are to be
2 mixed within each subdivision.

3 [D.] G. Within the WC and AUC Zones:

- 4 (1) Development shall comply with all applicable requirements of
5 §297-[96]**97, ACTIVITY CENTER ZONES.**
6 (2) Buildings shall be sited and designed to comply with the Downtown
7 Waldorf Vision Plan and Design Guidelines.
8 (3) Attached dwellings (Townhouse and Multiplex) shall not be
9 constructed on lots abutting a principal arterial highway (U.S. 301)
10 or a Waldorf Urban Major Collector as identified in the Waldorf
11 Downtown Design Guidelines.

12 [E.] H. Requirements for dwelling units located on a public way.

- 13 (1) All lots within a development of this use shall, at minimum, front on
14 a public way. A public way intended for pedestrian circulation shall
15 have a minimum width of five (5) feet. Public ways intended for
16 automobile parking and circulation shall meet the requirements of
17 Article XVI, **ADEQUATE PUBLIC FACILITIES**
18 **REQUIREMENTS**, of this chapter.
19 (2) Within the WC and AUC Zones, public ways shall comply with the
20 requirements of §297-[96]**97, Activity Center Zones**, and the
21 standards of the Downtown Waldorf Vision and Design Guidelines.
22 (3) All public ways or other common facilities within a development of
23 this use shall be maintained by the property owners within the same
24 development.

25 [F.] I. **MAJOR Site DEVELOPMENT** pPlan approval. Site approval shall be
26 required for all developments of this use and shall contain all the elements
27 required in Appendix A-1 **OF THIS CHAPTER.**

28 **J. RECREATIONAL AMENITIES. A DEVELOPMENT OF THIS USE**

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 SHALL INCLUDE ACTIVE RECREATIONAL FACILITIES,
2 CONSISTENT WITH THE REQUIREMENTS ESTABLISHED IN
3 FIGURE XIV-3, IN SECTION §297-228 OF THIS CHAPTER.

4 **K. REQUIRED PARKING.**

5 (1) REQUIRED PARKING SHALL BE PROVIDED FOR ALL
6 DEVELOPMENT OF THIS USE IN ACCORDANCE WITH
7 FIGURE XX-1, TABLE OF PARKING REQUIREMENTS,
8 LOCATED IN ARTICLE XX OF THIS CHAPTER.

9 (2) THE PARKING SPACE REQUIREMENT FOR SINGLE-
10 FAMILY ATTACHED RESIDENTIAL DWELLING UNITS
11 MAY BE SATISFIED VIA SOME COMBINATION OF THE
12 FOLLOWING: AN ON-LOT DRIVEWAY, AN INTEGRAL
13 GARAGE, A DETACHED GARAGE ON LOT, OR OFF-LOT
14 PARKING THAT IS WITHIN 200 FEET OF THE
15 ASSOCIATED LOT ALONG A DESIGNATED PEDESTRIAN
16 LINKAGE AS SHOWN ON THE CORRESPONDING
17 PEDESTRIAN CONNECTIVITY MAP.

18 **L. VISITOR PARKING.**

19 (1) A DEVELOPMENT OF THIS USE SHALL PROVIDE
20 ADDITIONAL PARKING SPACES THAT ARE
21 SPECIFICALLY DESIGNATED AS VISITOR PARKING.
22 THE AMOUNT OF VISITOR PARKING PROVIDED SHALL
23 BE A MINIMUM OF TEN (10%) PERCENT ABOVE THE
24 TOTAL PARKING REQUIREMENT PER FIGURE XX-1,
25 TABLE OF PARKING REQUIREMENTS, LOCATED IN
26 ARTICLE XX OF THIS CHAPTER.

27 (2) REQUIRED VISITOR PARKING SHALL NOT BE
28 COUNTED TOWARDS PARKING REQUIREMENTS FOR

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

INDIVIDUAL DWELLING UNITS.

- (3) REQUIRED VISITOR PARKING SHALL NOT BE PROVIDED ON AN INDIVIDUAL LOT AND WILL CONSTITUTE PARKING AVAILABLE FOR THE USE OF VISITORS TO ANY RESIDENT OF THE DEVELOPMENT.**

M. DRIVEWAYS AND GARAGES.

- (1) DRIVEWAYS MUST BE ASPHALT, COBBLESTONE, CONCRETE, OR MASONRY PAVERS, UNLESS OTHERWISE APPROVED DURING THE COUNTY ARCHITECTURAL REVIEW PROCESS. DRIVEWAY APRONS ACCESSING PUBLIC ROADS MUST BE CONSTRUCTED OF MATERIALS CONSISTENT WITH THE CHARLES COUNTY STANDARD DETAIL MANUAL.**
- (2) ALL GARAGE DOORS MUST POSSESS ARCHITECTURAL FEATURES SUCH AS WINDOW PANELS SEPARATED BY MULLIONS, MOLDINGS, OR SPECIALITY HARDWARE. THE USE OF CARRIAGE OR OTHER SPECIALITY STYLE DOORS FOR FRONT LOADED GARAGES ARE REQUIRED. CONTEMPORARY GARAGE DOORS, WITH OR WITHOUT ARCHITECTURAL FEATURES, ARE PERMITTED ON A CASE-BY-CASE BASIS WHEN PROPOSED AS THE UNIFORM DESIGN STYLE IN A NEW COMMUNITY. GARAGE DOOR COLOR SHALL BE CONSISTENT WITH THE DWELLING UNIT MATERIAL CHOICES AND COLOR SCHEMES.**

- N. PEDESTRIAN CONNECTIVITY. A NETWORK OF SIDEWALKS AND WALKWAYS SHALL BE PROVIDED, WITH APPROPRIATE CURB RAMP AND HANDICAP ACCESS, WHICH ENABLES SAFE**

1 AND DIRECT PEDESTRIAN LINKAGES TO ON-SITE
2 AMENITIES, PARKING, AND NEARBY OFF-SITE SERVICES.
3 MULTI-MODAL CIRCULATION SYSTEMS SHALL BE
4 DESIGNED TO ENCOURAGE WALKING, BIKING, AND USE OF
5 MASS TRANSIT.

6 (I) A PRELIMINARY PEDESTRIAN CONNECTIVITY MAP
7 AND INDEX FOR A GIVEN DEVELOPMENT IS REQUIRED
8 TO BE SUPPLIED AT TIME OF PRELIMINARY
9 SUBDIVISION PLAN APPLICATION, WHICH
10 ILLUSTRATES THE FOLLOWING:

11 (A) ACHIEVABLE INTERNAL AND EXTERNAL
12 LINKAGES. THE MAP SHALL IDENTIFY ALL SCHOOLS,
13 PARKS, AND SHOPPING AREAS WITHIN ONE-HALF (1/2)
14 MILE RADIUS OF THE SITE WITH THE LOCATION OF
15 ALL EXISTING AND PROPOSED SIDEWALKS AND
16 WALKWAYS WITHIN THE DEVELOPMENT AND WITHIN
17 ONE (1) MILE OF THE DEVELOPMENT.

18 (B) A CONNECTIVITY INDEX THAT MEASURES THE
19 GOAL OF PROVIDING SUFFICIENT STREET ROUTES
20 AND MOBILITY OPTIONS. THE INDEX IS A RATIO OF
21 THE NUMBER OF STREET LINKS (ROAD SECTIONS
22 BETWEEN INTERSECTIONS AND CUL-DE-SACS)
23 DIVIDED BY THE NUMBER OF STREET NODES
24 (INTERSECTIONS AND CUL-DE-SAC HEADS). THE
25 MORE LINKS RELATIVE TO NODES, THE MORE
26 CONNECTIVITY. TRADITIONAL GRIDIRON STREET
27 NETWORKS YIELD AN INDEX OF 1.7. CONTEMPORARY
28 NETWORKS YIELD ABOUT 1.2. AN INDEX OF 1.4 IS AN

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 APPROPRIATE TARGET FOR FUTURE PLANNING
2 PURPOSES AND SHALL BE REQUIRED UNLESS THE
3 PLANNING COMMISSION ACCEPTS A LOWER NUMBER.

4 (2) PEDESTRIAN CONNECTIVITY SHALL BE PROVIDED ON
5 BOTH SIDES OF PUBLIC AND PRIVATE ROADS,
6 EXCLUDING ALLEYS, SIDEWALKS AND WALKWAYS
7 SHALL INTERCONNECT WITH BUILDING ENTRANCES
8 AND INDIVIDUAL DWELLING UNITS, OFF-LOT AND
9 VISITOR PARKING, AND USEABLE OPEN SPACE AND
10 RECREATION AREAS.

11 (3) UNLESS OTHERWISE APPROVED BY THE PLANNING
12 COMMISSION, SIDEWALKS AND WALKWAYS SHALL
13 INTERCONNECT WITH ADJACENT OR NEARBY
14 PEDESTRIAN NETWORKS IDENTIFIED WITHIN A ONE-
15 THOUSAND FOOT RADIUS, AS SHOWN ON THE
16 PEDESTRIAN CONNECTIVITY MAP.

17 (4) THE SIDEWALKS AND WALKWAYS REQUIRED BY THIS
18 SECTION SHALL BE AT LEAST FIVE (5) FEET IN WIDTH
19 AND CONSTRUCTED ACCORDING TO THE
20 SPECIFICATIONS SET FORTH IN THE CHARLES
21 COUNTY ROAD ORDINANCE.

22 O. NEIGHBORHOOD LIGHTING. STREETLIGHTS ARE REQUIRED
23 IN OFF-LOT AND VISITOR PARKING AREAS.

24 (1) ALL PROPOSED STREET LIGHTING IS REQUIRED AT
25 MINIMUM TO ADHERE TO THE ESTABLISHED
26 REQUIREMENTS AND STANDARDS OF SECTIONS §297-
27 305 AND §297-306 OF THIS CHAPTER, AND THE
28 APPLICABLE CRITERIA OUTLINED IN SECTIONS §278-

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 95 AND §278-96 OF THE CHARLES COUNTY SUBDIVISION
2 REGULATIONS. COMPLIANCE SHALL BE
3 DEMONSTRATED VIA THE SUBMISSION OF AN
4 OUTDOOR LIGHTING (PHOTOMETRIC) PLAN AS PART
5 OF THE MAJOR SITE DEVELOPMENT PLAN
6 APPLICATION REVIEW PROCESS, IN ACCORDANCE
7 WITH APPENDIX A-1 OF THIS CHAPTER.

8 P. TRASH AND RECYCLING. THE APPROPRIATE LOCATION,
9 SCREENING, AND STORAGE OF RESIDENTIAL TRASH AND
10 RECYCLING CONTAINERS SHALL BE DETERMINED DURING
11 THE MAJOR SITE DEVELOPMENT PLAN APPLICATION
12 REVIEW PROCESS. PLACEMENT OF THESE CONTAINERS
13 WILL NOT BE AN AFTERTHOUGHT AND WILL BE PLANNED
14 FOR IN ORDER TO AVOID VISUAL IMPACTS TO THE
15 STREETSCAPE.

16 Q. METER SCREENING. ELECTRICAL METERING PLACED ON
17 THE FRONT FAÇADE OF UNITS SHALL BE DISGUISED,
18 ENCLOSED, PAINTED, OR OTHERWISE SCREENED SUCH
19 THAT THE BOX AND CONDUIT VISUALLY BLEND WITH THE
20 FINISHED VENEER. VIEW OF THE GLASS PORTION OF THE
21 METER MUST REMAIN UNOBSTRUCTED.

22 *****

23 3.02.300 Single-family attached residential: multiplex.

24 This use is permitted with conditions in the RM and RH Zones and in the PRD,
25 MX, TOD, CER, CMR, CRR, WC, and AUC Zones, subject to the same conditions
26 as specified in Use 3.02.200[.], **WHERE APPLICABLE**. Where this use is shown
27 and approved on a master plan or preliminary plan of subdivision, it is permitted in
28 the PUD and WPC Zones, subject to the same conditions for this use as Use

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

1 3.02.200[.], WHERE APPLICABLE.

2 *****

3 Article XIV, §228, Figure XIV-2 – Schedule of Dimensional Requirements:

4 Cluster Developments, Charles County, Maryland

5 Incorporated herein as Attachment H.

6 *****

7 Article XIV, §228, Figure XIV-3 - Minimum Acceptable Facilities for Active

8 Recreation - Suburban Cluster Development on Public Water or Sewer

9 Incorporated herein as Attachment I.

10 *****

11 Article XVII, §297-278, Definitions.

12 In addition to the definitions contained in Article III, Definitions, as used in this
13 article, the following words shall have the meanings indicated:

14 *****

15 RECEIVING PARCEL or RECEIVING ZONE

16 A lot or parcel of land that has been designated as the development district
17 in the Comprehensive Plan, is located in a zone in which the use of TDRs
18 is authorized by this chapter (RL, RM, RH, CER, CRR, CMR, AUC, WC)
19 and is located in a cluster development in the RL, RM or RH Zones[;], **A**
20 **DUPLEX, TOWNHOUSE OR MULTI-FAMILY DEVELOPMENT**, or
21 in a PRD, TOD or MX Zone as set forth in Article VII; or in the CER, CRR,
22 CMR, AUC or WC Zones.

23 *****

24 Article XIX, §325, Event Signs.

25 *****

26 E. With the exception of directional signs erected in accordance with §297-
27 324(G), no event signs shall be placed in the public rights-of-way or within
28 [the sight triangle] **ANY SIGHT DISTANCE EASEMENT** of any
29 intersection. Event signs made of wood shall not exceed thirty-two (32)
30 square feet. Such signs must be placed on private property with owner's
31 permission.

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

Article XX, §297-335, Number of parking spaces required.

A. All development in all zones shall provide the minimum number of parking spaces indicated in the Table of [Off-Street] Parking Requirements (see Figure XX-1).

(1) No **NONRESIDENTIAL** use shall provide more than the required number of spaces, unless all spaces in excess of the required number are constructed using an industry standard pervious pavement[.] **AND DESIGNED ACCORDING TO THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) STORMWATER DESIGN MANUAL.**

B. **NONRESIDENTIAL USES.** All [off-street] parking spaces required to serve **NONRESIDENTIAL** buildings or a use erected or established shall be located on the same lot as the building or use served, except that where an increase in the number of spaces is required by a change or enlargement of a nonresidential use or where spaces are provided collectively or used jointly by two or more buildings or establishments, the required spaces may be located and maintained as set forth in § 297-339, 297-340 and 297-341.

D. Table of [Off-Street] Parking Requirements (See Figure XX-1 attached to this chapter).

Article XX, §297-336, Parking space dimensions.

E. **WHEN REQUIRED PARKING SPACES FOR INDIVIDUAL RESIDENTIAL DWELLINGS ARE BEING CALCULATED ON THE PROVIDED DRIVEWAY PARKING PAD, THE FOLLOWING MINIMUM WIDTHS AND LENGTHS SHALL BE PRESCRIBED:**

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

- 1 (1) **ONE (1) PARKING SPACE: 9 FEET WIDE BY 18 FEET**
- 2 **LENGTH.**
- 3 (2) **TWO (2) PARKING SPACES (SIDE BY SIDE): 16 1/2 FEET**
- 4 **WIDE BY 18 FEET LENGTH.**
- 5 (3) **TWO (2) PARKING SPACES (STACKED): 9 FEET WIDE BY**
- 6 **36 FEET DEPTH.**

7 *****

8 Article XX, §297-338, General design requirements.
9 *****

10 D. Parking requirements may be provided in attached or detached garages, in
11 off-street parking lots or on parking pads on the lots. No more than 75% of
12 the total number of garage spaces provided for single-family attached or
13 multi-family dwellings units may be counted towards the minimum
14 requirements of Figure **XX-1**. [XV-1]. [On residential lots, each required
15 parking space shall have direct and unobstructed access to a road.]

16 *****

17 J. [A “sight triangle” shall be observed] **INTERSECTION OR STOPPING**
18 **SIGHT DISTANCE SHALL BE PROVIDED** at all street intersections
19 or intersections of driveways with streets as required in § 297-28 of Article
20 II.

21 *****

22 N. The percentage of coverage of parking areas and driveways in any
23 residential zone shall not exceed 40% of the total required front yard or side
24 street side yard; **EXCLUDING SINGLE-FAMILY ATTACHED**
25 **RESIDENTIAL USES.**

26
27

27 Article XX, Figure XX-1 – Table of [Off-Street] Parking Requirements.
28 *****

Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

Use Description	[Off-Street] Parking Requirements
3.02.000 Single-family attached	
3.02.100 Duplex	[2 spaces per unit]
1 BEDROOM	2 SPACES PER UNIT
2 BEDROOM	2.25 SPACES PER UNIT
3 OR MORE BEDROOMS	2.5 SPACES PER UNIT
3.02.200 Townhouse	
1 Bedroom	2 spaces per unit
2 Bedroom	2.25 spaces per unit
3 OR MORE Bedrooms	2.5 spaces per unit
3.02.300 Multiplex	[2 spaces per unit]
1 BEDROOM	2 SPACES PER UNIT
2 BEDROOM	2.25 SPACES PER UNIT
3 OR MORE BEDROOMS	2.5 SPACES PER UNIT

Article XXI, §358, Perimeter Landscaping.

D. Landscape plantings [that are planted within the sight triangle shall conform to the following standards:] **SHALL NOT OBSTRUCT INTERSECTION OR DRIVEWAY LINES OF SIGHT AS REQUIRED BY THE CHARLES COUNTY ROAD ORDINANCE.**

[(1) No trees planted shall have a main/stem/trunk greater than eight inches or have a drip line that falls below six feet six inches in height.]

[(2) No shrubs or ground covers shall exceed a height of 24 inches.]

Asterisks *** mean intervening code language remaining unchanged
 NOTE: CAPITALS indicate language added to existing law.
 [Brackets] indicate language deleted from existing law.

Appendix A, Zoning Regulations.

Information Required with Applications for Master Plans and Site Plans.

		Development Stage		
Item No.	Description	Master Plan	Minor Site Plan	Major Site Plan
f. Project – Plat Information				

53.	Lighting plan and details (OUTDOOR LIGHTING PHOTOMETRIC PLAN)		X	X

57.	[Site triangles] SIGHT DISTANCE EASEMENTS		X	X
58.	[Vehicular and pedestrian circulation patterns] VEHICULAR CIRCULATION PATTERNS AND PEDESTRIAN CONNECTIVITY MAP/INDEX	X		X

62.	APPROVED PRELIMINARY SUBDIVISION PLAN			X


Notes: X = item required at indicated development stage.


Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.


1 SECTION 2. BE IT FURTHER ENACTED, that this Act shall take effect
2 FORTY-FIVE (45) calendar days after it is adopted.
3

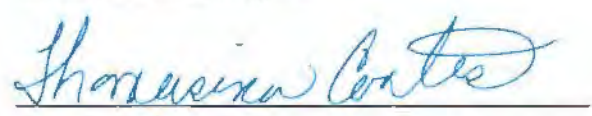
4 ADOPTED this 21st day of September 2021.
5

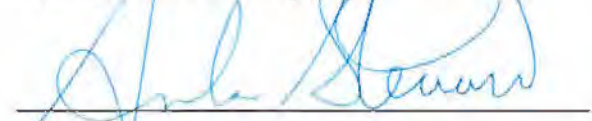
6 COUNTY COMMISSIONERS
7 CHARLES COUNTY, MARYLAND

8 
9
10 Reuben B. Collins, II, Esq., President

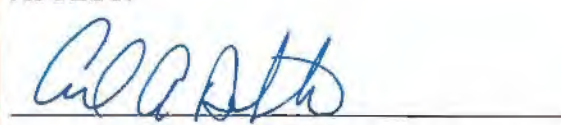
11 
12
13 Bobby Rucci, Vice President

14 
15
16 Gilbert O. Bowling, III

17 
18
19 Thomasina O. Coates, M.S.

20 
21
22 Amanda M. Stewart, M. Ed.

23
24 ATTEST:

25 
26
27 Carol Desoto, Clerk to the Commissioners

28
Asterisks *** mean intervening code language remaining unchanged
NOTE: CAPITALS indicate language added to existing law.
[Brackets] indicate language deleted from existing law.

Attachment A
Figure V-1
Maximum Residential Densities
(Dwelling Units Per Acre)

Residential Zones	Type of Development	Base Density	With Affordable Housing Density Bonus ¹	With Maximum TDRs	Maximum TDRs Affordable Housing Density Bonus
Agricultural Conservation (AC)	Conventional	0.33	0.40	--	--
	Cluster	0.33	0.40	--	--
Rural Conservation (RC)	Conventional	0.33	0.40	--	--
	Cluster	0.33	0.40	--	--
Rural Conservation Deferred RC(D) ²	Conventional	0.10			
Rural Residential (RR)	Conventional	1.00	1.22	--	--
	Cluster	1.00	1.22	--	--
Village Residential (RV)	Conventional	1.80	2.20	--	--
	Cluster	1.80	2.20	--	--
	W/ Central Water or Sewer	3.00	3.40		
	Application of a Planned Development – MX Zone	3.00	3.66	6.00	6.66
Low-Density Residential (RL)	Conventional	1.00	1.22	--	--
	Cluster	1.00	1.22	3.00	3.22
	Application of a Planned Development - PRD	1.75	1.97	4.59	4.81
Medium-Density Residential (RM)	Conventional	3.00	3.66	--	--
	Cluster	3.00	3.66	4.00	4.66
	SINGLE-FAMILY ATTACHED RESIDENTIAL	3.00	3.66	5.00	5.50
	MULTI-FAMILY RESIDENTIAL	3.00	3.66	6.00	6.66
	Application of a Planned Development – PRD Zone	3.00	3.66	6.00	6.66
	Application of a Planned Development – MX and PMH Zones	3.00	3.66	8.00	8.66
	Application of a Planned Development - TOD Zone	4.00	4.66	10.00	10.66
	Application of a Planned Development - TOD Zone	4.00	4.66	10.00	10.66
High-Density Residential (RH)	Conventional	5.00	6.10	--	--
	Cluster	5.00	6.10	6.00	7.10
	SINGLE-FAMILY ATTACHED RESIDENTIAL	5.00	6.10	7.00	7.50
	MULTI-FAMILY RESIDENTIAL	5.00	6.10	12.00	13.10
	Application of a Planned Development – PRD Zone	5.00	6.10	12.00	13.10
	Application of a Planned Development-MX Zone	5.00	6.10	19.00	20.10
	Application of a Planned Development -PMH Zone	5.00	6.10	10.00	11.10
	Application of a Planned Development -TOD Zone	15.00	16.10	27.50	28.60
Core Employment/Residential (CER)	Conventional	2.00	-	15.00 ³	15.00 ³
Core Retail/Residential (CRR)	Conventional	2.00	-	15.00 ³	15.00 ³
Core Mixed Residential (CMR)	Conventional	2.00	-	10.00 ³	10.00 ³
Central Business (CB), Community Commercial (CC), Business Park (BP)	Application of a Planned Development – MX Zone	5.00	6.10	19.00	20.10
	Application of a Planned Development – TOD Zone	15.00	16.10	27.50	28.60
Commercial Village (CV)	Application of a Planned Development – MX Zone	3.00	3.66	6.00	6.66
Light Industrial (IG), Heavy Industrial (IH)	Application of a Planned Development – MX Zone	5.00	6.10	19.00	20.10
	Application of a Planned Development – TOD Zone	15.00	16.10	27.50	28.60

Notes:

¹ The County Commissioners may grant density bonuses as set forth in § 297-241. A minimum of 10% of units shall be affordable housing to qualify for density bonus.

² Densities may be increased to 10 DU per acre in the Neighborhood Conservation District established in the Comprehensive Plan as set forth in § 297-88.

³ Density calculations in the CER, CMR and CRR Zones. To achieve a density over the base density in these zones, the applicant must purchase one Transferable Development Right for each of the third, fifth, seventh and ninth lots/dwelling units per acre. Density is established by dividing the number of lots/dwelling units by the number of acres devoted to residential development. The resulting density, usually a mixed number, is determined the number of development rights required. Any fractional portion of a number resulting from a density calculation will automatically be rounded up to the next whole number. For instance, if the resulting density calculation yields 2.01 units per acre, this will be considered to be 3 units per acre, and one Transferable Development Right must be purchased for each of the lots/dwelling units. In no case may densities in these zones exceed 15 units per acre in the Core Retail Residential (CRR) and Core Employment Residential (CER) Zones or 10 units per acre in the Core Mixed Residential (CMR) Zone.

Attachment B

**Figure VI-4
Schedule of Zone Regulations: Development District Zones**

ABBREVIATIONS: du: Dwelling unit

FAR: Floor area ratio. An intensity measured as a ratio derived by dividing the total floor area of a building by the base site area. ISR: Impervious surface ratio. The ratio derived by dividing the area of impervious surface by the base site area. Impervious surfaces are those which do not absorb water. They consist of all buildings, parking areas, driveways, roads and sidewalks.

Uses	Minimum Lot Criteria					Minimum Yard Requirements (feet)				Maximum Height		Lot Coverage	Intensity	Minimum Open Space	Maximum ISR	Minimum Tract Size		
	Acre	Square feet per du	Width (feet)	Depth (feet)	Frontage (feet)	Front	Side	Total	Rear	Feet	Stories							
RI Zone																		
Agricultural 1.00.000	3 acres		150	200		75	40	80	50	40								
Residential 3.00.000	18,000 square feet		70	80	65	30	15	35	30	36 ¹	3 ¹	30%		15%				
Institutional 4.00.000	1 acre		100	150	80	50	20	40	40	36	3	30%	0.30 FAR		0.5			
RM Zone																		
Agricultural 1.00.000	3 acres		150	200		75	40	80	50	40								
Residential 3.00.000	12,000 square feet		60	65	50	25	8	20	25	36 ¹	3 ¹	35%		15%				
TOWNHOUSE 3.02.200	1,500 SQUARE FEET	1,250				SEE REQUIREMENTS BELOW				36 ¹	3 ¹	60%		45%	0.35			
1. WITHOUT ON-LOT GARAGE			18		18	18	0	0	18									
2. WITH ATTACHED/ INTEGRAL FRONT LOAD GARAGE			18		18	18	0	0	15									
3. WITH ATTACHED/ INTEGRAL REAR LOAD GARAGE			18		18	15	0	0	18									
4. WITH ON-LOT REAR DETACHED GARAGE			18		18	15	0	0	35									
Institutional 4.00.000	1 acre		100	150	80	50	20	40	40	36	3	30%	0.35 FAR	60%	0.5			
RH Zone																		
Agricultural 1.00.000	3 acres		150	200		75	40	80	50	40								
Residential 3.00.000	8,000 square feet		50	55	45	20	8	20	25	36 ¹	3 ¹	40%		15%				
TOWNHOUSE 3.02.200	1,500 SQUARE FEET	1,250				SEE REQUIREMENTS BELOW				36 ¹	3 ¹	60%		45%	0.35			
1. WITHOUT ON-LOT GARAGE			18		18	18	0	0	18									
2. WITH ATTACHED/ INTEGRAL FRONT LOAD GARAGE			18		18	18	0	0	15									

¹ A HABITABLE AREA ENCLOSED BY THE ROOF ASSEMBLY (AREA BETWEEN THE ROOF EAVE AND THE ROOF EDGE) ONE (1) LEVEL ABOVE THE THIRD STORY MAY BE ADDED AND THE ALLOWABLE BUILDING HEIGHT MAY BE EXCEEDED IN ACCORDANCE WITH CHAPTER 297-27 A. (3).

Attachment B

Figure VI-4
Schedule of Zone Regulations: Development District Zones
(Cont'd)

ABBREVIATIONS

du: Dwelling unit

FAR: Floor area ratio. An intensity measured as a ratio derived by dividing the total floor area of a building by the base site area.

ISR: Impervious surface ratio. The ratio derived by dividing the area of impervious surface by the base site area. Impervious surfaces are those which do not absorb water. They consist of all buildings, parking areas, driveways, roads and sidewalks.

Uses	Minimum Lot Criteria					Minimum Yard Requirements (feet)				Maximum Height		Lot Coverage	Intensity	Minimum Open Space	Maximum ISR	Minimum Tract Size
	Area	Square feet per du	Width (feet)	Depth (feet)	Frontage (feet)	Front	Side	Total	Rear	Feet	Stories					
3.WITH ATTACHED/ INTEGRAL REAR LOAD GARAGE			18		18	15	0	0	18							
4.WITH ON-LOT REAR DETACHED GARAGE			18		18	15	0	0	35							
Institutional 4.00.000	1 acre		100	150	80	50	20	40	40	36	3	30%	0.40 FAR	70%		
RO Zone																
Agricultural 1.00.000	3 acres		150	200	120	75	40	80	50	40						
Single-family detached 3.01.000	14,000 square feet		70	100	60	30	10	25	25	36 ¹	3 ¹	40%				
Group home (9-16 people) 3.04.120	1 acre		100	120	80	40	10	25	40	36	3	40%				
Halfway house 3.04.300	1 acre		100	120	80	40	10	25	40	36	3	40%			0.7	
Day-care center 3.04.220	1 acre		100	120	80	40	10	25	40	36	3	40%				
Institutional/utilities/ recreation 4.00.000	14,000 square feet		70	100	60	30	10	25	25	36	3		0.40 FAR		0.7	
Service Oriented Commercial 5.00.000	14,000 square feet		70	100	60	30	10	25	25	36	3		0.40 FAR		0.7	
Commercial 6.00.000	14,000 square feet		70	100	60	30	10	25	25	36	3		0.40 FAR		0.7	

¹ A HABITABLE AREA ENCLOSED BY THE ROOF ASSEMBLY (AREA BETWEEN THE ROOF EAVE AND THE ROOF EDGE) ONE (1) LEVEL ABOVE THE THIRD STORY MAY BE ADDED AND THE ALLOWABLE BUILDING HEIGHT MAY BE EXCEEDED IN ACCORDANCE WITH CHAPTER 297-27 A. (3).

Attachment C

Figure VI-7

Schedule of Zone Regulations: Town Center Core Mixed Use Zones Charles County, Maryland

ABBREVIATIONS: du: Dwelling unit.

FAR: floor area ratio. An intensity measured as a ratio derived by dividing the total floor area of a building by the base site area.

Uses	Minimum Lot Criteria					Minimum Yard Requirements (feet)				Maximum Yard (feet)	Maximum Height		Lot Coverage	Intensity	Minimum Open Space
	Area	Square feet per du	Width (feet)	Depth (feet)	Frontage (feet)	Front	Side	Total	Rear	Front	Feet	Stories			
Core Retail/Residential (CRR) Zone															
Single-family detached 3.01.100	5,000 square feet		55	75	30	10	6	12	20		40 ¹	3 ¹	50 to 70%		20%
Patio/court/atrium 3.01.300	3,000 square feet		45		30	10	6	12	20		40 ¹	3 ¹	50 to 70%		20%
Duplex 3.02.100	6,000 square feet	3,000 square feet	45	75	30	10	6	12	20		40 ¹	3 ¹			20%
Townhouse 3.02.200	1,500 SQUARE FEET	1,2[00]50 square feet	[18]	[10]		[10]	[0]	[0]	[20]		40 ¹	3 ¹	50 to 70%		20%
			SEE REQUIREMENTS BELOW												
1. WITH ATTACHED/ INTEGRAL REAR LOAD GARAGE			16		16	10	0	0	18						
2. WITH ON-LOT REAR DETACHED GARAGE			18		18	10	0	0	35						
Garden apartment 3.03.100	2500 square feet		200	200	200	10	10	20	50		40	3			10%
Mixed-Use Building 8.01.00 & 8.02.000	10,000 square feet		100	100		10	0	0	20	18	50	2-4		0.50	20%
Commercial apartment 3.03.400		1,000 square feet									50	2-4			20%
Inst./Util./Rec. 4.00.000	10,000 square feet		100	100		10	0	0	50	18	50	2-4		0.50	20%
Service-oriented commercial 5.00.000	10,000 square feet		100	100		10	0	0	20	18	50	2-4		0.50	20%
Commercial 6.00.000	10,000 square feet		100	100		10	0	0	20	18	50	2-4		0.50	20%
Industrial 7.00.000	10,000 square feet		100	100		10	10	20	50	18	50	2-4		0.50	20%

¹ A HABITABLE AREA ENCLOSED BY THE ROOF ASSEMBLY (AREA BETWEEN THE ROOF EAVE AND THE ROOF EDGE) ONE (1) LEVEL ABOVE THE THIRD STORY MAY BE ADDED AND THE ALLOWABLE BUILDING HEIGHT MAY BE EXCEEDED IN ACCORDANCE WITH CHAPTER 297-27 A. (3).

Attachment C

Figure VI-7

Schedule of Zone Regulations: Town Center Core Mixed Use Zones Charles County, Maryland (Cont'd) (Cont'd)

ABBREVIATIONS:

du: Dwelling unit

FAR: floor area ratio. An intensity measured as a ratio derived by dividing the total floor area of a building by the base site area.

Uses	Minimum Lot Criteria					Minimum Yard Requirements (feet)				Maximum Yard (feet)	Maximum Height		Lot Coverage	Intensity	Minimum Open Space
	Area	Square feet per du	Width (feet)	Depth (feet)	Frontage (feet)	Front	Side	Total	Rear	Front	Feet	Stories			
Core Employment/Residential (CER) Zone															
Single-family detached 3.01.100	5,000 square feet		55	75	30	10	6	12	20		40 ¹	3 ¹	50 to 70%		20%
Patio/court/atrium 3.01.300	3,000 square feet		45		30	10	6	12	20		40 ¹	3 ¹	50 to 70%		20%
Duplex 3.02.100	6,000 square feet	3,000 square feet	45	75	30	10	6	12	20		40 ¹	3 ¹			20%
Townhouse 3.02.200	1,500 SQUARE FEET	1,2[00]50 square feet	[0]	[18]	[10]	[0]	[0]	[20]	[0]		40 ¹	3 ¹	50 to 70%		20%
			SEE REQUIREMENTS BELOW												
1. WITH ATTACHED/INTEGRAL REAR LOAD GARAGE			16		16	10	0	0	18						
2. WITH ON-LOT REAR DETACHED GARAGE			18		18	10	0	0	35						
Garden apartment 3.03.100	2,500 square feet		200	200	200	10	10	20	50		40	3			20%
Commercial apartment 3.03.400		1,000 square feet									50	2-4			20%
Mixed-Use Building 8.01.000 & 8.02.000	10,000 square feet		100	100		10	0	0	20	18	50	2-4		0.50	20%
Inst./Util./Rec. 4.00.000	10,000 square feet		100	100		10	0	0	50	18	50	2-4		0.50	20%
Service-oriented commercial 5.00.000	10,000 square feet		100	100		10	0	0	20	18	50	2-4		0.50	20%
Commercial 6.00.000	10,000 square feet		100	100		10	0	0	50	18	50	2-4		0.50	20%
Industrial 7.00.000	10,000 square feet		100	100		10	10	20	50	18	50	2-4		0.50	20%

¹ A HABITABLE AREA ENCLOSED BY THE ROOF ASSEMBLY (AREA BETWEEN THE ROOF EAVE AND THE ROOF EDGE) ONE (1) LEVEL ABOVE THE THIRD STORY MAY BE ADDED AND THE ALLOWABLE BUILDING HEIGHT MAY BE EXCEEDED IN ACCORDANCE WITH CHAPTER 297-27 A. (3).

Attachment C

Figure VI-7

Schedule of Zone Regulations: Town Center Core Mixed Use Zones Charles County, Maryland (Cont'd)

ABBREVIATIONS:

du: Dwelling unit.

FAR: Floor area ratio. An intensity measured as a ratio derived by dividing the total floor area of a building by the base site area.

Uses	Minimum Lot Criteria					Minimum Yard Requirements (feet)				Maximum Yard (feet)	Maximum Height		Lot Coverage	Intensity	Minimum Open Space
	Area	Square feet per du	Width (feet)	Depth (feet)	Frontage (feet)	Front	Side	Total	Rear	Front	Feet	Stories			
Core Mixed/Residential (CMR) Zone															
Single-family detached 3.01.100	5,000 square feet		55	75	30	10	6	12	20		36 ¹	3 ¹	50 to 70%		
Patio/court/atrium 3.01.300	3,000 square feet		45		30	10	6	12	20		36 ¹	3 ¹	50 to 70%		
Duplex 3.02.100	6,000 square feet	3,000 square feet	45	75	30	10	6	12	20		36 ¹	3 ¹			
Townhouse 3.02.200	1,500 SQUARE FEET	1,200]50 square feet			[18]	[10]	[0]	[0]	[20]		36 ¹	3 ¹	50 to 70%		
			SEE REQUIREMENTS BELOW												
1. WITH ATTACHED/ INTEGRAL REAR LOAD GARAGE			16		16	10	0	0	18						
2. WITH ON-LOT REAR DETACHED GARAGE			18		18	10	0	0	35						
Commercial apartment 3.03.400		1,000 square feet									36	3			
Inst./Util./Rec. 4.00.000	10,000 square feet		100	100		10	20	40	50		36	3		0.50	
Service-oriented commercial 5.00.000	10,000 square feet		100	100		10	20	40	50		36	3		0.50	
Commercial 6.00.000	10,000 square feet		100	100	10	10	20	40	50		36	3		0.50	
Industrial 7.00.000	10,000 square feet		100	100		10	20	40	50		36	3		0.50	

¹ A HABITABLE AREA ENCLOSED BY THE ROOF ASSEMBLY (AREA BETWEEN THE ROOF EAVE AND THE ROOF EDGE) ONE (1) LEVEL ABOVE THE THIRD STORY MAY BE ADDED AND THE ALLOWABLE BUILDING HEIGHT MAY BE EXCEEDED IN ACCORDANCE WITH CHAPTER 297-27 A. (3).

Attachment D

**Figure VI-9
Schedule of Zone Regulations: Activity Center Zones
Charles County, Maryland
Added 4-23-2010 by Bill No. 2010-02**

Uses: Waldorf Central (WC) Zone	Minimum Lot Criteria				Front Setback Requirements		Minimum Yard Requirements (Feet)		Min & Max Height (Stories)	Min and Max Floor Area Ratio (FAR)	Max Lot Coverage	Minimum Open Space
	Area (Sq. Ft.)	Width (Feet)	Depth (Feet)	Frontage (Feet)	Minimum	Maximum	Side	Rear				
Townhouse 3.02.200		[18]	[50]	[18]	[6]	[15]	[0]	[0]	2-3 ¹		70%	20%
SEE REQUIREMENTS BELOW												
1. WITH ATTACHED/ INTEGRAL REAR LOAD GARAGE		16		16	10	15	0	18				
2. WITH ON-LOT DETACHED GARAGE		18		18	10	15	0	35				
Multiplex 3.02.300	10,000	18	50	18	[6] 10	15	0	0	2-3 ¹		70%	20%
Garden Apartment 3.03.100	10,000	50	80	50	0	12	0	0	2-3	0.5-1.6	90%	20%
Mid-Rise 3.03.200	10,000	50	80	50	0	12	0	0	4-5	0.5-1.6	90%	15%
Commercial Apartment 3.03.400	10,000	50	80	50	0	12	0	0	2-5	0.5-1.6	90%	15%
Inst./Utility/ Recreation 4.00.000	10,000	50	80	50	0	12	0	0	2-5	0.5-1.6	90%	15%
Service Commercial 5.00.000	10,000	50	80	50	0	12	0	0	2-5	0.5-1.6	90%	15%
Commercial 6.00.000	10,000	50	80	50	0	12	0	0	2-5	0.5-1.6	90%	15%

¹ A HABITABLE AREA ENCLOSED BY THE ROOF ASSEMBLY (AREA BETWEEN THE ROOF EAVE AND THE ROOF EDGE) ONE (1) LEVEL ABOVE THE THIRD STORY MAY BE ADDED AND THE ALLOWABLE BUILDING HEIGHT MAY BE EXCEEDED IN ACCORDANCE WITH CHAPTER 297-27 A. (3).

Attachment D

Figure VI-9 Continued
Schedule of Zoning Regulations: Activity Center Zones
Charles County, Maryland
Added 4-23-2010 by Bill No. 2010-02

Uses: Acton Urban Center (AUC) Zone	Minimum Lot Criteria				Front Setback Requirements		Minimum Yard Requirements (Feet)		Min. and Max Height (Stories)	Min. and Max. Floor Area Ratio (FAR)	Maximum Lot Coverage	Minimum Open Space
	Area (Sq. Ft.)	Width (Feet)	Depth (Feet)	Frontage (Feet)	Minimum	Maximum	Side	Rear				
Townhouse 3.02.200		[18]	[50]	[18]	[6]	[15]	[0]	[0]	2-4 ²		70%	20%
		SEE REQUIREMENTS BELOW										
1. WITH ATTACHED/ INTEGRAL REAR LOAD GARAGE		16		16	10	15	0	18				
2. WITH ON-LOT DETACHED GARAGE		18		18	10	15	0	35				
Multiplex 3.02.300	10,000	18	50	18	[6] 10	15	0	0	2-4 ²		70%	20%
Garden Apartment 3.03.100	10,000	50	80	50	0	12	0	0	2-3	0.7-2.0 ¹	90%	20%
Mid-Rise 3.03.200	10,000	50	80	50	0	12	0	0	4-5	0.7-2.0 ¹	90%	15%
High-Rise 3.03.300	20,000	100	200	100	0	12			6-10	0.7-2.0 ¹	90%	15%
Commercial Apartment 3.03.400	10,000	50	80	50	0	12	0	0	3-10	0.7-2.0 ¹	90%	15%
Inst./Utility/ Recreation 4.00.000	10,000	50	80	50	0	12	0	0	3-10	0.7-2.0 ¹	90%	15%
Service Commercial 5.00.000	10,000	50	80	50	0	12	0	0	3-10	0.7-2.0 ¹	90%	15%
Commercial 6.00.000	10,000	50	80	50	0	12	0	0	3-10	0.7-2.0 ¹	90%	15%

Notes:

¹ Maximum FAR may be increased under the following circumstances:

- An FAR up to 2.5 shall be permitted for buildings within ¼ mile of an existing or planned light rail station.
- An FAR up to 6.0 shall be permitted within the AUC Zone, provided that structured parking shall be required if the FAR exceeds 2.5, and a traffic study and trip management plan are submitted demonstrating that the available road, pedestrian and transit facilities are adequate to handle projected trips.

Attachment D

² A HABITABLE AREA ENCLOSED BY THE ROOF ASSEMBLY (AREA BETWEEN THE ROOF EAVE AND THE ROOF EDGE) ONE (1) LEVEL ABOVE THE THIRD STORY MAY BE ADDED AND THE ALLOWABLE BUILDING HEIGHT MAY BE EXCEEDED IN ACCORDANCE WITH CHAPTER 297-27 A. (3).

Attachment E

**Figure VII-2
Schedule of Zone Regulations: Planned Residential Development (PRD) Zone**

ABBREVIATIONS: du, Dwelling unit. FAR, Floor area ratio. An intensity measured as a ratio derived by dividing the total floor area of a building by the base site area.
ISR, Impervious surface ratio. The ratio derived by dividing the area of impervious surface by the base site area. Impervious surfaces are those which do not absorb water. They consist of all buildings, parking areas, driveways, roads and sidewalks.

Uses	Minimum Lot Criteria					Minimum Yard Requirements (feet)				Maximum Height		Lot Coverage	Minimum Open Space	Maximum ISR
	Area	Square feet per du	Width (feet)	Depth (feet)	Frontage (feet)	Front	Side	Total	Rear	Feet	Stories			
Agricultural 1.00.000	3 acres	n/a	150	200	n/a	75	40	80	50	40	n/a	n/a	n/a	n/a
Single-family detached 3.01.100	6,000 square feet	1,250-1,650 ²	55	75	30	20	8	20	20	36 ³	3 ³	50%	n/a	n/a
Lot line 3.01.200	3,000 square feet	n/a	45	n/a	30	20	0 to 6	15	15	36 ³	3 ³	60%	30%	0.30
Patio/court/atrium 3.01.300	3,000 square feet	n/a	45	n/a	30	20	0 to 6	15	15	36 ³	3 ³	60%	30%	0.30
Duplex 3.02.100	8,000 square feet	4,000	50	100	30	30	15	40	20	36 ³	3 ³	n/a	35%	0.25
Townhouse 3.02.200	1,500 square feet	1,250	[18]	n/a	[18]	[15]	[0]	[0]	[20]	36 ³	3 ³	60%	45%	0.35
SEE REQUIREMENTS BELOW														
1. WITHOUT ON-LOT GARAGE			16		16	18	0	0	18					
2. WITH ATTACHED/ INTEGRAL FRONT LOAD GARAGE			18		18	18	0	0	15					
3. WITH ATTACHED/ INTEGRAL REAR LOAD GARAGE			16		16	15	0	0	18					
4. WITH ON-LOT REAR DETACHED GARAGE			18		18	15	0	0	35					
Multiplex 3.02.300	10,000 square feet	3,000	50	100	30	30	15	40	20	36 ³	3 ³	n/a	45%	0.35
Garden apartments 3.03.100	20,000 square feet	5,000	400	400	400	100	100	200	100	40	3	n/a	35%	0.45
Mid-rise	20,000	4,000	600	600	400	30	15	40	20	60	5	n/a	60%	0.40

Updated [2012] 2020

Attachment E

3.03.200	square feet													
High-rise 3.03.300	20,000 square feet	3,000	50	100	30	30	15	40	20	60	51	n/a	70%	0.30
All other permitted uses	1 acre	n/a	100	150	75	n/a	40	80	50	50	3	n/a	n/a	0.70

Notes: 1. May be increased as per §297-210, Art. III

2. Based on square footage of development per §297-212, Use #3.01.100.

3. A HABITABLE AREA ENCLOSED BY THE ROOF ASSEMBLY (AREA BETWEEN THE ROOF EAVE AND THE ROOF EDGE) ONE (1) LEVEL ABOVE THE THIRD STORY MAY BE ADDED AND THE ALLOWABLE BUILDING HEIGHT MAY BE EXCEEDED IN ACCORDANCE WITH CHAPTER 297-27 A. (3).

Attachment F

**Figure VII-3
Schedule of Zone Regulations: Mixed Use (MX) Zone**

ABBREVIATIONS:
du: Dwelling unit

Uses	Minimum Lot Criteria					Minimum Yard Requirements (feet)				Maximum Height		Lot Coverage
	Area	Square feet per du	Width (feet)	Depth (feet)	Frontage (feet)	Front	Side	Total	Rear	Feet	Stories	
Agricultural 1.00.000	3 acres	n/a	150	200	n/a	75	40	80	50	40 ³	3 ³	n/a
Marine 2.00.000	2 acres	n/a	150	200	n/a	75	40	80	50	40	3	n/a
Single-family detached 3.01.100	5,000 square feet	1,250-1,650 ²	55	75	30	10	6	12	20	40 ³	3 ³	50%
Lot line 3.01.200	3,000 square feet	n/a	45	n/a	30	10	0 to 6	12	15	40 ³	3 ³	60%
Patio/court/atrium 3.01.300	3,000 square feet	n/a	45	n/a	30	10	0 to 6	15	15	40 ³	3 ³	60%
Duplex 3.02.100	6,000 square feet	4,000	50	100	30	10	6	12	20	36 ³	3 ³	n/a
Townhouse 3.02.200	[n/a] 1,500 SQUARE FEET	1,250	[18]	n/a	[18]	[10]	[0]	[0]	[20]	40 ³	3 ³	60%
						SEE REQUIREMENTS BELOW						
1. WITHOUT ON-LOT GARAGE			16		16	18	0	0	18			
2. WITH ATTACHED/INTEGRAL FRONT LOAD GARAGE			18		18	18	0	0	15			
3. WITH ATTACHED/INTEGRAL REAR LOAD GARAGE			16		16	10	0	0	18			
4. WITH ON-LOT REAR DETACHED GARAGE			18		18	10	0	0	35			
Multiplex 3.02.300	10,000 square feet	3,000	50	100	30	10	6	12	20	36 ³	3 ³	n/a

Attachment F

Figure VII-3 (Cont'd)
Schedule of Zone Regulations: Mixed Use (MX) Zone

ABBREVIATIONS:
du: Dwelling unit

Uses	Minimum Lot Criteria					Minimum Yard Requirements (feet)				Maximum Height		Lot Coverage
	Area	Square feet per du	Width (feet)	Depth (feet)	Frontage (feet)	Front	Side	Total	Rear	Feet	Stories	
Garden apartments 3.03.100	20,000 square feet	5,000	200	200	200	10	0/10	0/10	50	40	3	n/a
Mid-rise 3.03.200	20,000 square feet	4,000	150	150	150	10	0/10	0/10	50	60	4	n/a
High-rise 3.03.300	20,000 square feet	3,000	300	300	200	10	0/10	0/10	50	60	5+	n/a
Commercial apartment 3.03.400	n/a	1,500	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Mixed-Use Building 8.01.100 & 8.02.000	20,000 square feet	n/a	100	100	n/a	10	0/10	0/10	25	60	5+	n/a
Institutional/utilities/ recreation 4.00.000	20,000 square feet	n/a	100	100	n/a	10	0/10	0/10	25	40	5	n/a
Service-oriented commercial 5.00.000	20,000 square feet	n/a	100	100	n/a	10	0/10	0/10	25	60	5+	n/a
Commercial 6.00.000	20,000 square feet	n/a	100	100	n/a	10	0/10	0/10	25	60	5	n/a
Industrial 7.00.000	3 acres	n/a	100	100	n/a	75	40	80	50	60	5	n/a

Notes:

1. May be increased as per §297-210, Art. XIII.
2. Based on percentage of development per §297-212, Use 3.01.100.
3. A HABITABLE AREA ENCLOSED BY THE ROOF ASSEMBLY (AREA BETWEEN THE ROOF EAVE AND THE ROOF EDGE) ONE (1) LEVEL ABOVE THE THIRD STORY MAY BE ADDED AND THE ALLOWABLE BUILDING HEIGHT MAY BE EXCEEDED IN ACCORDANCE WITH CHAPTER 297-27 A. (3).

Attachment G

Figure VII-5A

Schedule of Zone Regulation: Transit-Oriented Development (TOD) Zone

ABBREVIATIONS: du: Dwelling unit. FAR: Floor area ratio. An intensity measured as a ratio derived by dividing the total floor area of a building by the base site area.
 ISR: Impervious surface ratio. The ratio derived by dividing the area of impervious surface by the base site area. Impervious surfaces are those which do not absorb water.
 They consist of all buildings, parking areas, driveways, roads and sidewalks.

Uses	Minimum Lot Criteria					Minimum Yard Requirements (feet)				Maximum Height		Lot Coverage	Maximum ISR
	Area	Square feet per du	Width (feet)	Depth (feet)	Frontage (feet)	Front	Side	Total	Rear	Feet	Stories		
Agricultural 1.00.000	3 acres	n/a	150	200	n/a	75	40	80	50	40	3	n/a	n/a
Marine 2.00.000	2 acres	n/a	150	200	n/a	75	40	80	50	40	3	n/a	0.40
Single-family detached 3.01.100	5,000 square feet	1,250- 1,650 ²	55	75	30	10	6	12	20	40 ³	3 ³	50%	n/a
Lot line 3.01.200	3,000 square feet	n/a	45	n/a	30	10	0 to 6	12	15	40 ³	3 ³	60%	n/a
Patio/court/atrium 3.01.300	3,000 square feet	n/a	45	n/a	30	10	0 to 6	15	15	40 ³	3 ³	60%	n/a
Duplex 3.02.100	4,000 square feet	2,000	50	100	30	10	6	12	20	36 ³	3 ³	n/a	0.25
Townhouse 3.02.200	1,500 square feet	1,250	[18]	n/a	[18]	[10]	[0]	[0]	[20]	40 ³	3 ³	60%	n/a
SEE REQUIREMENTS BELOW													
1. WITHOUT ON-LOT GARAGE			16		16	18	0	0	18				
2. WITH INTEGRAL FRONT LOAD GARAGE			18		18	18	0	0	15				
3. WITH INTEGRAL REAR LOAD GARAGE			16		16	10	0	0	18				
4. WITH ON-LOT REAR DETACHED GARAGE			18		18	10	0	0	35				
Multiplex 3.02.300	4,800 square feet	1,600	50	100	30	10	6	12	20	36 ³	3 ³	n/a	0.50

Attachment G

Figure VII-5A Cont'd
Schedule of Zone Regulations: Transit-Oriented Development (TOD) Zone

ABBREVIATIONS:

du: Dwelling unit.

FAR: Floor area ratio. An intensity measured as a ratio derived by dividing the total floor area of a building by the base site area.

ISR: Impervious surface ratio. The ratio derived by dividing the area of impervious surface by the base site area. Impervious surfaces are those which do not absorb water. They consist of all buildings, parking areas, driveways, roads and sidewalks.

Uses	Minimum Lot Criteria					Minimum Yard Requirements (feet)				Maximum Height		Lot Coverage	Maximum ISR
	Area	Square feet per du	Width (feet)	Depth (feet)	Frontage (feet)	Front	Side	Total	Rear	Feet	Stories		
Garden apartments 3.03.100	20,000 square feet	3,000	200	200	200	10	0/10	0/10	50	40	3	n/a	0.50
Mid-rise 3.03.100	20,000 square feet	2,000	150	150	150	10	0/10	0/10	50	60	4	n/a	0.50
High-rise 3.03.200	20,000 square feet	1,000	300	300	200	10	0/10	0/10	50	60	5+	n/a	0.50
Commercial apartment 3.03.400	20,000 square feet	1,500	n/a	n/a	n/a	n/a	n/a	n/a	n/a	60	n/a	n/a	n/a
Mixed-Use Building 8.01.000 & 8.02.000	20,000 square feet	n/a	100	100	n/a	10	0/10	0/10	25	60	n/a	n/a	0.70
Institutional/ utilities/ recreation 4.00.000	20,000 square feet	n/a	100	100	n/a	10	0/10	0/10	25	60	n/a	n/a	0.70
Service oriented commercial 5.00.000	20,000 square feet	n/a	100	100	n/a	10	0/10	0/10	25	60	5+	n/a	0.70
Commercial 6.00.000	20,000 square feet	n/a	100	100	n/a	10	0/10	0/10	25	60	5	n/a	0.70

Notes:

1. May be increased as per §297-210, Art. XIII.
2. Based on percentage of development per §297-212, Use # 3.01.100.
3. **A HABITABLE AREA ENCLOSED BY THE ROOF ASSEMBLY (AREA BETWEEN THE ROOF EAVE AND THE ROOF EDGE) ONE (1) LEVEL ABOVE THE THIRD STORY MAY BE ADDED AND THE ALLOWABLE BUILDING HEIGHT MAY BE EXCEEDED IN ACCORDANCE WITH CHAPTER 297-27 A. (3).**

Attachment H

Figure XIV-2
Schedule of Dimensional Requirements: Cluster Developments
Charles County, Maryland

Zones and Dwelling Types	Minimum Lot Criteria					Minimum Yard Requirements (feet)				Maximum Height		Maximum ³ Lot Coverage
	Lot Area ¹ (square Feet)	Area/dwelling unit (square feet)	Width ² (feet)	Depth (feet)	Frontage (feet)	Front	Side	Total	Rear	Feet	Stories	
AC, RC												
Single-family detached 3.01.100	40,000		100		80	50	30	60	50	36 ⁵	3 ⁵	25%
RR												
Single-family detached 3.01.100	15,000		80		50	30	10	25	25	36 ⁵	3 ⁵	30%
RV												
Single-family detached 3.01.100	10,000		70		40	25	8	20	25	36 ⁵	3 ⁵	35%
Duplex 3.02.100	10,000		60		40	25	0	15	20	36 ⁵	3 ⁵	40%
RL												
Single-family detached 3.01.100	8,000 ⁴		65		40	25	8	20	20	36 ⁵	3 ⁵	35%
RM												
Single-family detached 3.01.100	7,000 ⁴		55		30	20	8	20	20	36 ⁵	3 ⁵	50%

Attachment H

Figure XIV-2
Schedule of Dimensional Requirements: Cluster Developments
Charles County, Maryland
(Continued)

Zones and Dwelling Types	Lot Area ¹ (square Feet)	Minimum Lot Criteria				Minimum Yard Requirements (feet)				Maximum Height		Maximum ³ Lot ³ Coverage
		Area/dwelling unit (square feet)	Width ² (feet)	Depth (feet)	Frontage (feet)	Front	Side	Total	Rear	Feet	Stories	
RH												
Single-family detached 3.01.100	6,000		55		30	20	8	20	20	36 ⁵	3 ⁵	50%

NOTES:

1 Where the suburban cluster development is permitted without public water and sewer, the minimum lot area shall be that which is permitted by the County Health Department.

2 Width measured at minimum building restriction line.

3 Lot coverage includes the square footage of all buildings located on the lot.

4 The minimum lot area may be reduced to 6,000 square feet when at least 25% of the density of the cluster development is the result of transferable development rights being transferred to the property.

A. [An attached balcony, deck, porch, and patio may project into the minimum rear yards of townhouse units by up to 10 feet where the rear yards are adjacent to the Resource Protection Zone (RPZ) or Forest Conservation (FC) Easement Areas.] **ON CLUSTER DEVELOPMENT SINGLE-FAMILY DETACHED LOTS, THE FOLLOWING STRUCTURES MAY PROJECT INTO THE MINIMUM REAR YARD UP TO TEN FEET WHERE THE REAR YARDS ARE ADJACENT TO RECORDED BUFFERYARDS, STORMWATER MANAGEMENT FEATURES, PASSIVE OPEN SPACE, THE RESOURCE PROTECTION ZONE, OR FOREST CONSERVATION EASEMENTS: (i) ATTACHED BALCONIES, DECKS, NECESSARY LANDINGS, OPEN FIRE ESCAPES, PATIOS (NOT ENCLOSED), PORCHES, AND UNCOVERED STAIRS.**

5. A HABITABLE AREA ENCLOSED BY THE ROOF ASSEMBLY (AREA BETWEEN THE ROOF EAVE AND THE ROOF EDGE) ONE (1) LEVEL ABOVE THE THIRD STORY MAY BE ADDED AND THE ALLOWABLE BUILDING HEIGHT MAY BE EXCEEDED IN ACCORDANCE WITH CHAPTER 297-27 A. (3).

Attachment I

Figure XIV-3
Minimum Acceptable Facilities for Active Recreation

[Suburban] Cluster, **AND SINGLE-FAMILY ATTACHED RESIDENTIAL**, Development on
Public Water or Sewer

Dwelling Units	Facilities
0 to 50	TOT-LOT OR [P]Picnic shelter [/] WITH tables [/] OR A gazebo.
50 to 100	ADDITIONAL Tot-lot[s], ADULT OUTDOOR RECREATION (BOCCE COURTS, PICKLE BALL COURTS, PUTTING GREENS, ETC.), COMMUNITY GARDEN, OR COMMUNITY DOG PARK
100 to 250	Fitness trail (WITH FINESS STATIONS), PAVED BICYCLE TRAIL (SUBJECT TO AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) REQUIREMENTS) , or [volleyball courts.] MULTI- PURPOSE FIELDS.
250 to 500	Tennis courts, basketball courts, or [multipurpose field] VOLLEYBALL COURTS.
500+	Any one of the following: swimming pool; soccer field; football field; softball field; OR boat ramp.[; or paved bike trail.]

NOTES:

1. The recreational facilities identified are to serve as a guide and may be combined or substituted, provided that the facilities proposed are commensurate with the scale of the development.
2. Recreational facility requirements are cumulative in that the larger-scale development must include facilities equivalent to the smaller-scale development in addition to those listed for their class of development.

Asterisks *** mean intervening code language remaining unchanged

NOTE: CAPITALS indicate language added to existing law

[Brackets] indicate language deleted from existing law

Attachment J

APPENDIX I

SUPERIOR DESIGN CRITERIA FOR CLUSTER DEVELOPMENTS, SINGLE-FAMILY ATTACHED RESIDENTIAL IN THE RM AND RH ZONES, AND PLANNED DEVELOPMENT ZONES

[Added 4-23-2010 by Bill No. 2010-06]

Superior Design.

When creating or evaluating a project for Superior Design, the following criteria shall be used and applied to the project whenever possible, or as applicable:

A. Rural Development Project Criteria: A rural development project that is superior in design demonstrates optimal land use planning and contains a combination of the following elements which exceed the requirements for conventional subdivision:

- 1) The Proposed Open Space:
 - a) Exceeds the amount required by this Chapter and includes areas not already protected by this Chapter;
 - b) Connects to other adjacent open space areas which are at least 10,000 square feet in size, and can serve as wildlife corridors in accordance with Maryland's Green Infrastructure Guidelines; or
 - c) Includes landscaped areas and clearly defines maintenance responsibilities.
- 2) The Forest Conservation design exceeds the County's and the Chesapeake Bay Critical Area Program requirements, including planting and mitigation standards;
- 3) The proposed agricultural use lots, if any, contain one or more of the following elements:
 - a) Lots which are greater than 25 acres and contain more than 50% Class I-IV soils as classified by the United States Department of Agriculture Natural Resources Conservation Service;
 - b) Lots which maximize the use of existing agricultural infrastructure (such as barns, silos, equipment storage areas) and cleared or existing crop-land; or
 - c) Lots where the primary use of an agricultural use lot is forestry, the lot contains productive soils for silviculture and is of sufficient size and design that is viable for forest harvest operations as determined by a qualified state licensed forester.

- 4) The proposed development includes shared pedestrian and bicycle facilities and bike racks where desired or applicable;
- 5) The proposed development includes a trail system within and connecting open space or roads to adjacent properties, or alternatives such as mowed grass or pervious concrete, and signage provided at trail heads and along trails;
- 6) The proposed development relies in the limited use of flag-shaped lots, while maintaining individual yard privacy and limiting clearing of individual building sites;
- 7) The homes in the proposed development will have views of open space, not backs or sides of other homes;
- 8) The development demonstrates its commitment to environmental stewardship through the use of one or more of the following elements:
 - a) Conservation landscaping;
 - b) Water re-use;
 - c) Use of renewable energy, or other energy efficiency measures detailed in HOA covenants for private lots and/or community facilities;
 - d) Limited or no stream crossings; or
 - e) Disturbance of steep slopes or other environmental features on lots are minimized.
- 9) The proposed design ensures that pre-development views from existing roads and other scenic views are preserved;
- 10) The development minimized impacts to or protects historic watershed features, such as farm houses and farm roads, barns, fence lines, meadows, forests or farm land views from existing roads;
- 11) The proposed street tree caliper is larger than required;
- 12) The proposed development includes vehicle or pedestrian inter-parcel connections to adjacent neighborhoods or connecting to existing vehicle or pedestrian facilities;
- 13) Loop roads are provided within the proposed development; and
- 14) The proposed development minimizes the use of cul-de-sacs and any islands within proposed cul-de-sacs are landscaped.

B. Development District Project Criteria: A development project that is superior in design demonstrates optimal land use planning and contains a combination of the following elements, which exceed the requirements under the Base Zone Regulations (Article VI):

- 1) Open space that is integrated into the neighborhood as urban parks or pocket parks and open space maintenance responsibilities are clearly defined;
- 2) The Forest Conservation design exceeds the County's and the Chesapeake Bay Critical Area Program requirements, including planting and mitigation standards;
- 3) A mix of housing types;
- 4) Diverse architectural design types that include such features as:
 - a) Garages that are not the most predominant design feature and are setback further from the street than the house frontage;
 - b) Side loaded, or rear loaded garages; and
 - c) Front **OR SIDE** porches which **FACILITATE PLACEMENT OF UNDER ROOF SEATING ADJACENT TO THE ENTRY DOOR AND** provide an opportunity for residents to interact with the neighborhood.
- 5) Community gathering facilities, such as covered pavilion, community bulletin boards, community art or community centers, gardens or other similar amenities;
- 6) Shared pedestrian and bicycle facilities and bike racks where feasible;
- 7) Covered bus stops;
- 8) A trail system within and connecting open space or roads to adjacent properties; or alternatives such as mowed grass or pervious concrete, with improvements such as lighting, street furniture and landscaping, and signage provided at trail heads and along trails;
- 9) The development demonstrates its commitment to environmental stewardship through the use of one or more of the following elements:
 - a) Conservation landscaping;
 - b) Water re-use;
 - c) Renewable energy, or other energy efficiency measures detailed in HOA covenants for private lots and/or community facilities;
 - d) Limited or no stream crossings; or
 - e) Disturbance of steep slopes or other environmental features on lots are minimized;
- 10) A plan to relocate existing trees to meet some of the landscaping/street tree requirements or street tree caliper provided that is larger than required;

- 11) Sidewalks on both sides of the street, which shall be at least five (5) feet in width, where feasible, as determined by the Planning Director[;] **THIS ELEMENT APPLIES SOLELY TO PROJECTS THAT HAVE SINGLE-FAMILY DETACHED AND/OR MULTI-FAMILY HOUSING UNITS.**
- 12) Vehicle or pedestrian inter-parcel connections to adjacent neighborhoods or tying into existing vehicle or pedestrian facilities;
- 13) A grid of interconnected street network with parks or civic uses in or near the center of neighborhoods; and
- 14) Designated additional [guest] **VISITOR** parking of at least 10% above the number of parking spaces required in Article XX of this Chapter and spread throughout the project. This element applies solely to projects that have [townhouses or] multi-family housing units.